



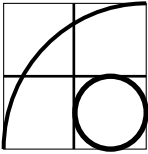
EXISTING REAR
(EAST) VIEW OF
10 PERRY ST.



ALTERATIONS TO 10 PERRY ST.
SOMERVILLE MA 02143

INDEX

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Robert Caruso
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PROJECT
10 Perry St
Renovation

PROJECT NO.
<23.03>

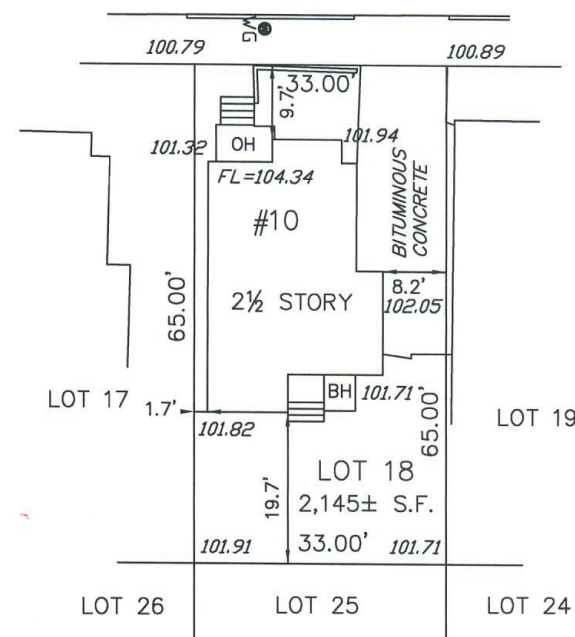
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Somerville MA

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COVER
PAGE

PERRY STREET



I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

PREPARED FOR: ARTISAN BUILDERS

PROPOSED PLOT PLAN
#10 PERRY STREET
IN
SOMERVILLE, MA
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: 11/17/2023

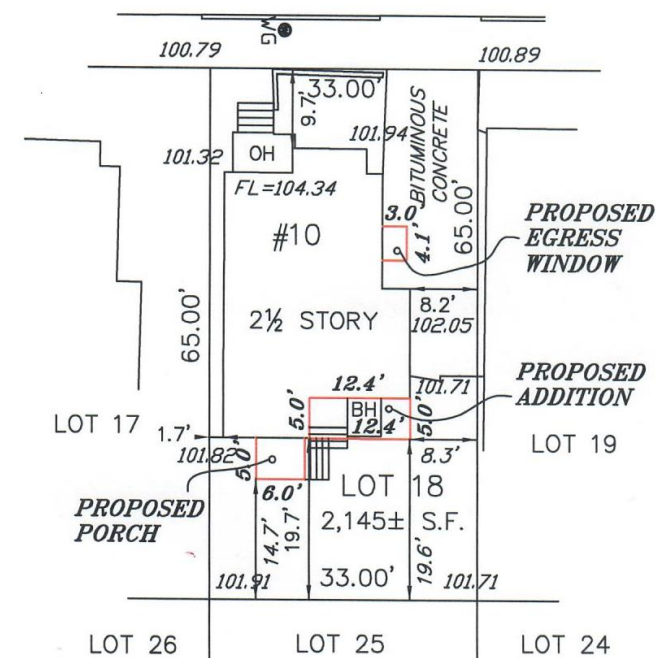


ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
7377PP1.DWG

SCOTT LYNCH, PLS DATE
THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

EXISTING

PERRY STREET



ZONE - Neighborhood Residential
DETACHED HOUSE

	REQ.	EXIST.	PROP.
FRONT	10'	9.7'	9.7'
SIDE	5'	8.2'	8.2'
SIDE	3'	1.7'	1.7'
REAR	20'	19.7'	19.6'
COV	60%	32.6%	36.8%

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.

PREPARED FOR: ARTISAN BUILDERS

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#10 PERRY STREET
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SOMERVILLE, MA
(MIDDLESEX COUNTY)

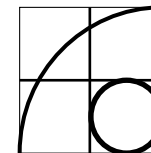
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PROPOSED



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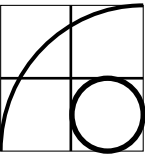
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SCALE:
as noted on
survey

PLOT PLAN

P-1



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SITE PLAN
&
SZO
COMPLIANCE
TABLE

P-2



EXISTING

PROPOSED

SITE PLAN
1/16" = 1'-0"

GROUND COVER		
ASPHALT		IMPERMEABLE
CAST CONCRETE		IMPERMEABLE
GARDEN		PERMEABLE
ROOF		IMPERMEABLE
GRAVEL		PERMEABLE
PATIO PAVERS		PERMEABLE
EWE TREE		

Dimensional Compliance Table for Detached House
From SZO 3.1.8

10 Perry Street
From Certified Plot Plan

Lot Dimensions	existing	minimum
Lot Width (front driveway access)	33 ft	32 ft
Lot Depth	65 ft	80 ft
Green Score		N/A

Lot Development	existing	proposed	allowed
Lot Coverage (building)	32.60%	36.80%	60%
Lot Coverage (impervious)	63.63%	58.36%	

Building Set Backs	existing	proposed	allowed
Front Set Back	9.7 ft	9.7 ft	10 ft
Side Set Back (left)	8.2 ft	8.2 ft	5 ft
Side Set Back (right)	1.7 ft	1.7 ft	3 ft
Rear Set Back (main mass)	19.7 ft	19.6 ft	20 ft
Rear Set Back (incl. open porch & stair)	19.7 ft	14.7 ft	20 ft

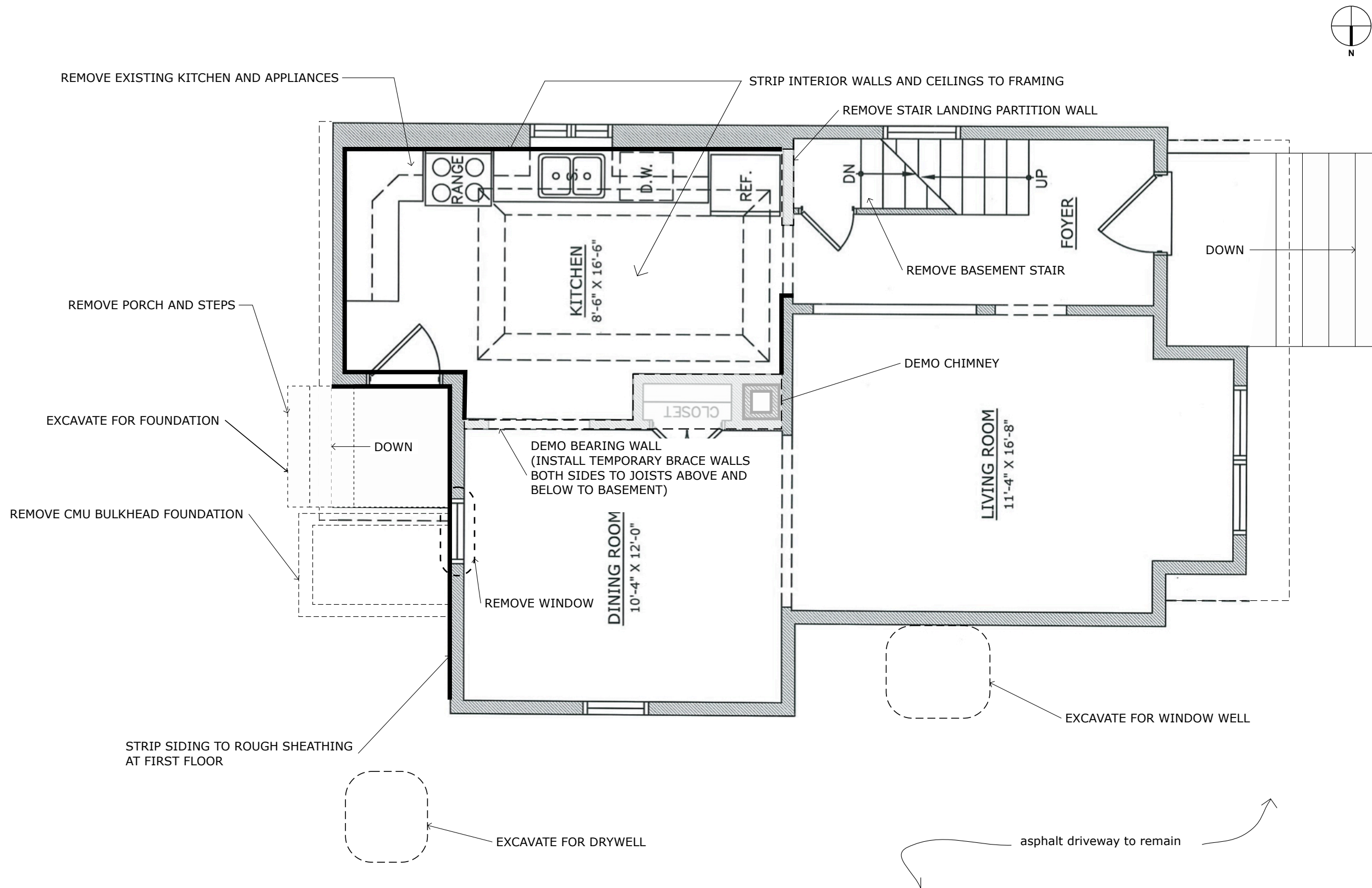
Parking Set Back	existing	proposed	allowed
Front Set Back	26.7 ft	26.7 ft	20 ft

Main Mass	existing	proposed	allowed
Façade Build Out	58%	58%	min 50%
Width	19.1 ft	19.1 ft	min 22 ft / max 28 ft
Depth	35.6 ft	35.5 ft	min 28 ft /max 48 ft
Ground Story Elevation	3.5 ft	3.5 ft	min 2 ft
Roof Type	gable	gable	gable

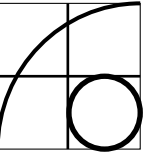
Façade Composition	existing	proposed	allowed
Ground Story	38%	38%	15% min /50% max
Upper Story	24%	24%	15% min /50% max

Use and Occupancy	existing	proposed	allowed
Dwelling Units per Lot	1	1	3 max
Dwelling Units	1	1	3 max
Outdoor Amenity Space	1	1	1/DU

Required ADUs	existing	proposed	Required
Dwelling Units	1	1	None



FIRST FLOOR DEMOLITION PLAN



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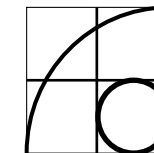
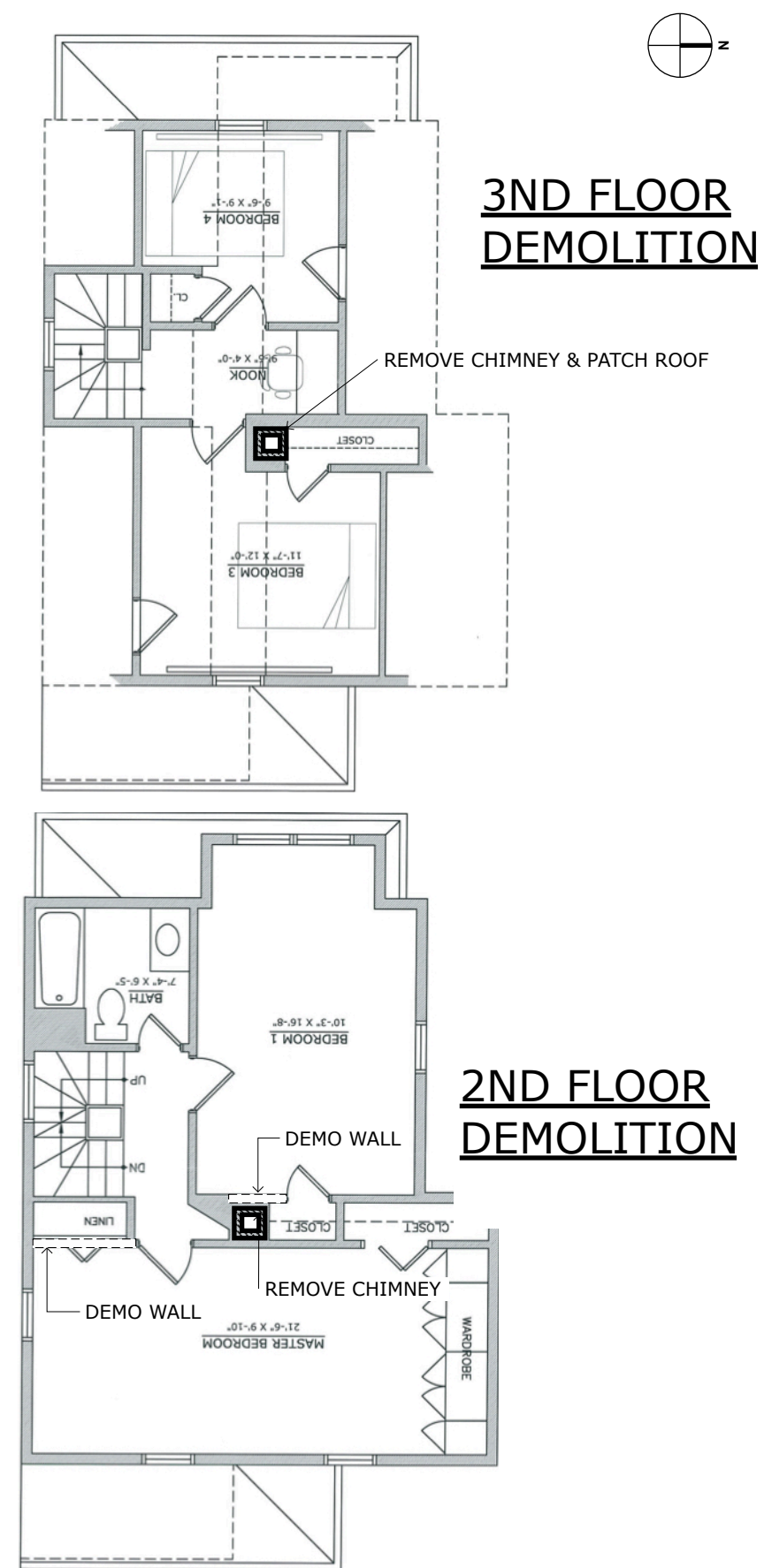
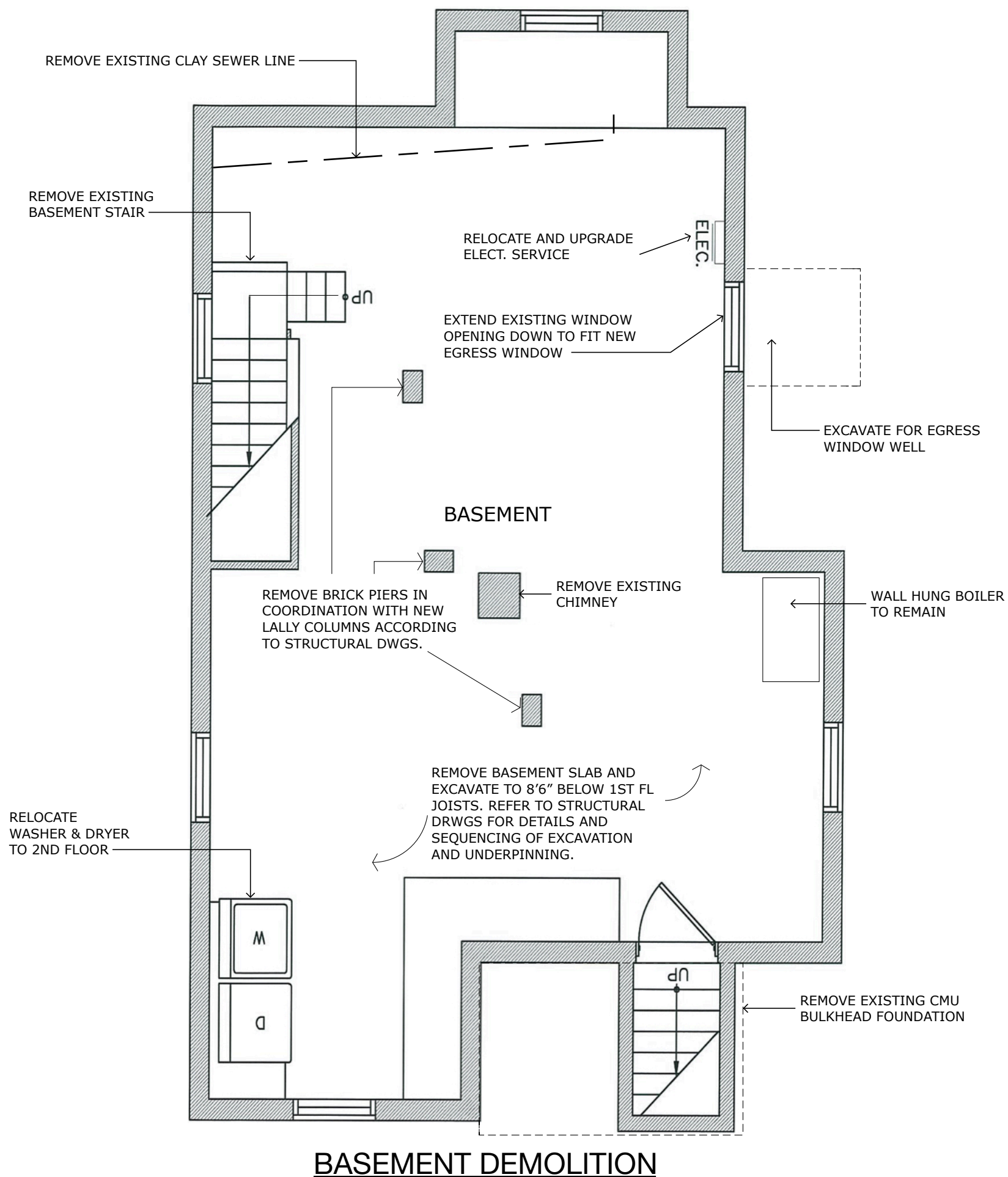
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**FIRST FL.
DEMOLITION
PLAN**

D-1



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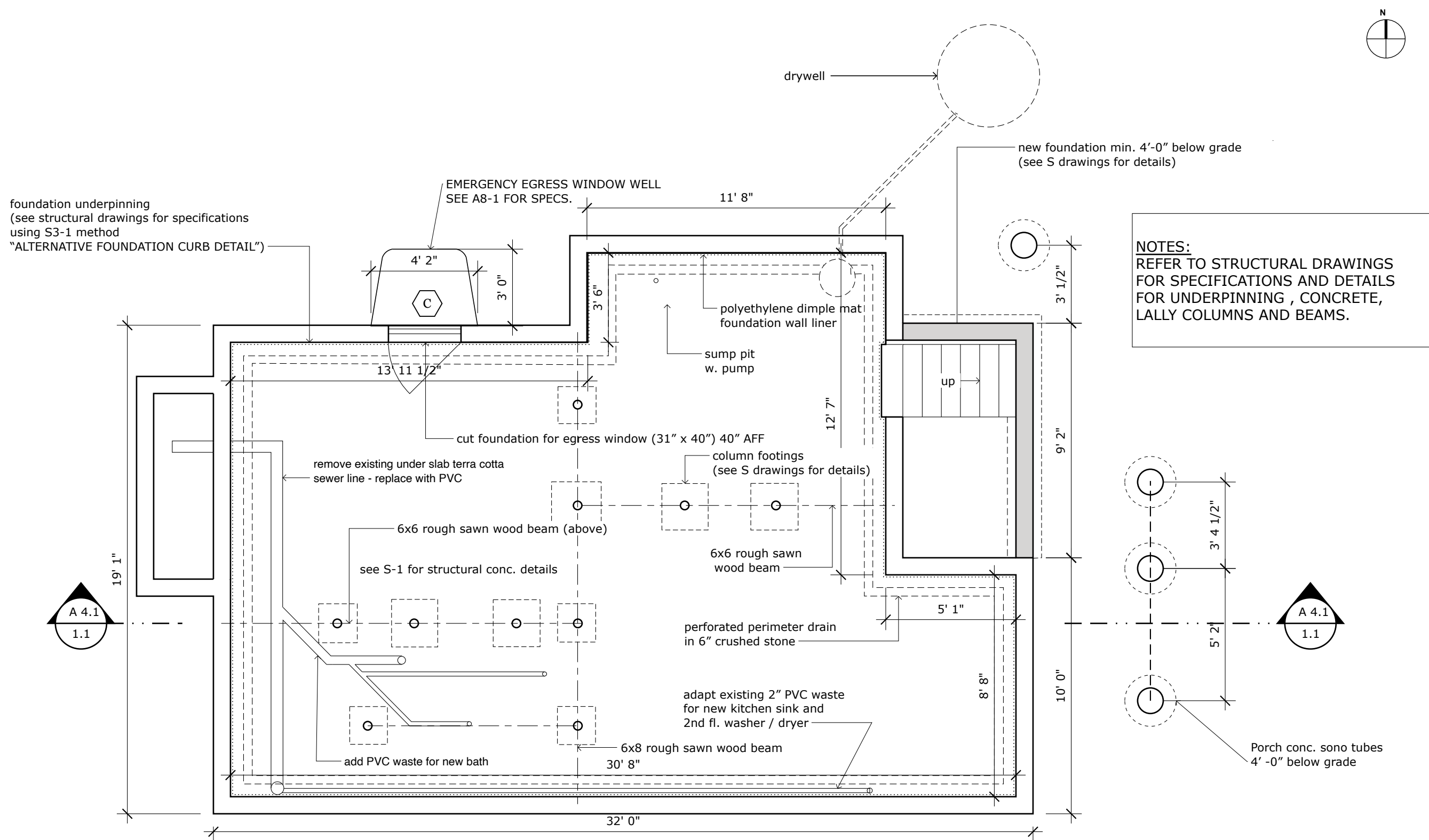
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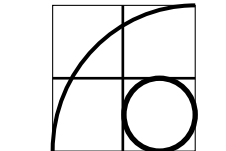
NO SCALE

BASEMENT
2ND & 3RD FL.
DEMO

D-2



BASEMENT UNDER SLAB PLAN



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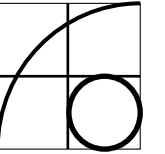
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**BASEMENT
UNDER SLAB
PLAN**
(see S
drawings
for
structural
details)

A-1



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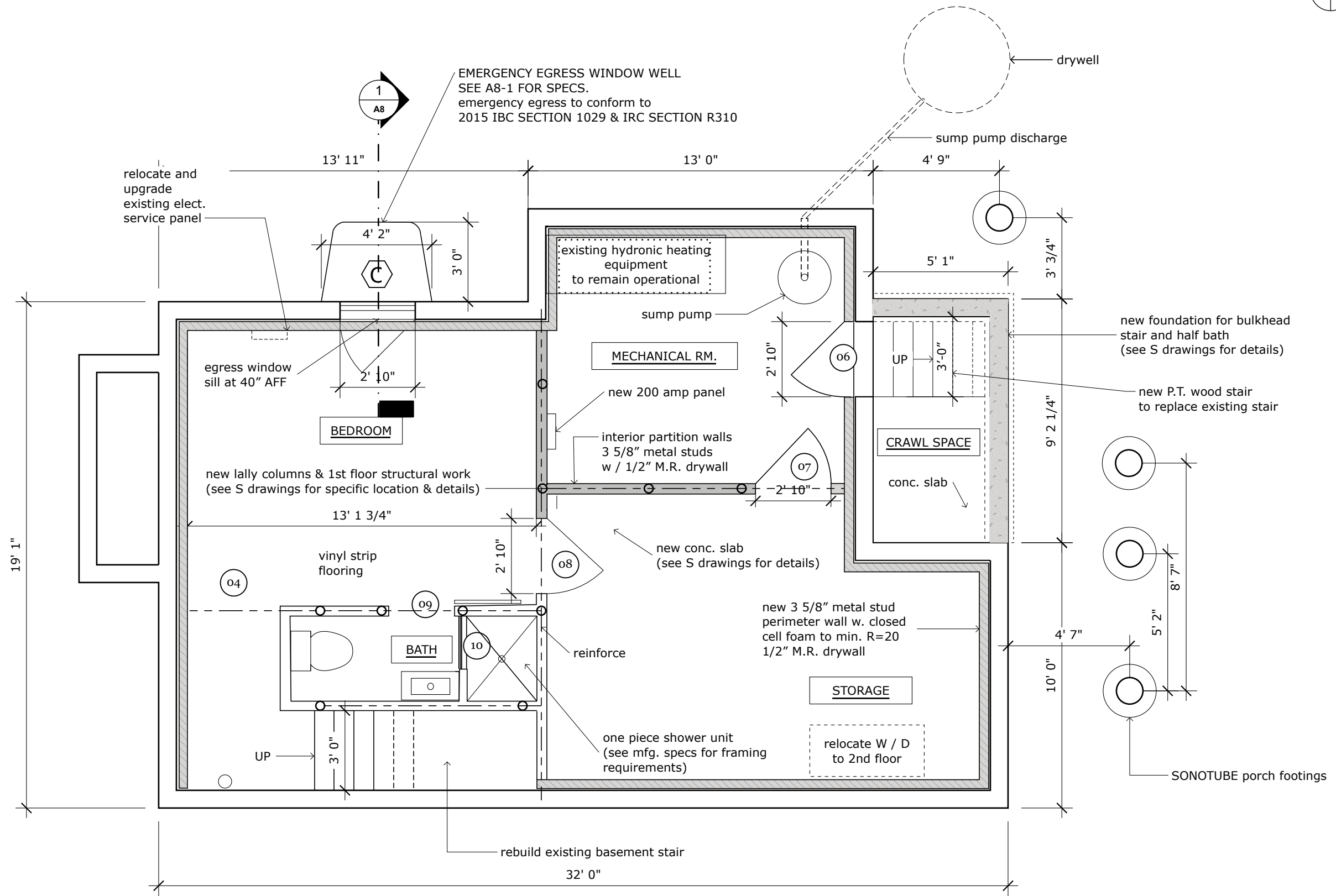
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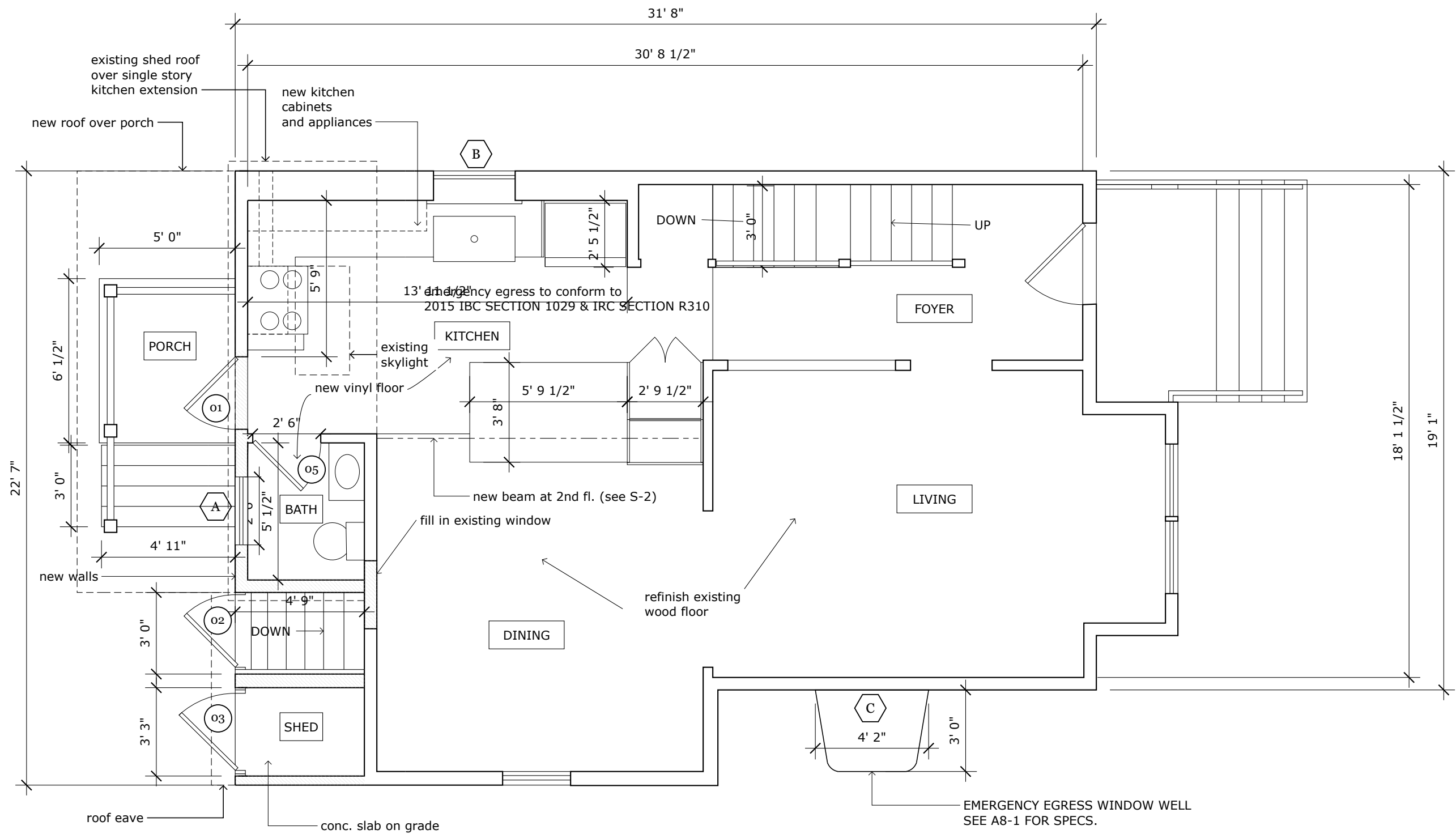
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**BASEMENT
FLOOR PLAN**

A-2



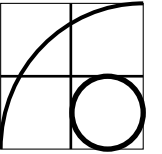
BASEMENT FLOOR PLAN



FIRST FLOOR PLAN

FIRST FLOOR
PLAN

A-3



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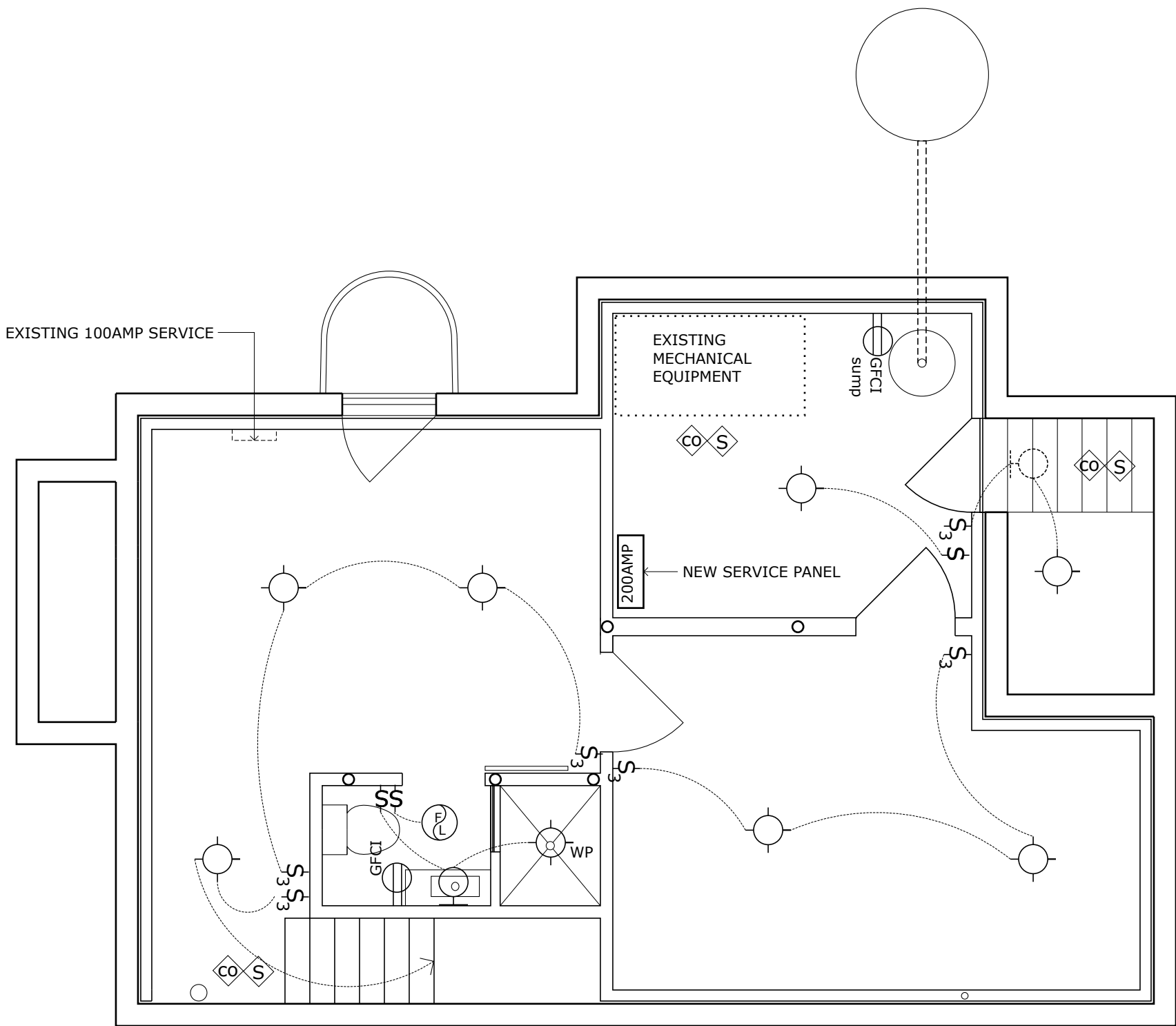
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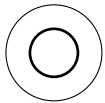
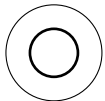
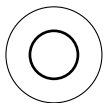
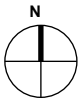
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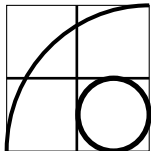
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BASEMENT ELECTRICAL PLAN



ELECTRICAL SYMBOLS	
FAN / LIGHT	
CEILING LIGHT	
WALL LIGHT	
WATER PROOF LIGHT	
GFCI DUPLEX OUTLET	
DUPLEX OUTLET	
GFCI DUPLEX OUTLET w. USB	
SINGLE POLE SWITCH	
THREE WAY SWITCH	
WATER PROOF OUTLET	
RANGE OUTLET	
DISHWASHER OUTLET	
GARBAGE DISP. OUTLET	
REFRIGERATOR OUTLET	
SMOKE DETECTOR	
RANGE HOOD	
UNDER CAB. LIGHTS	
SERVICE PANEL	
CO DETECTOR	
ELECTRICAL NOTES: ELECTRICAL WORK TO CONFORM TO Massachusetts Electric Code. 527 CMR 12.00	



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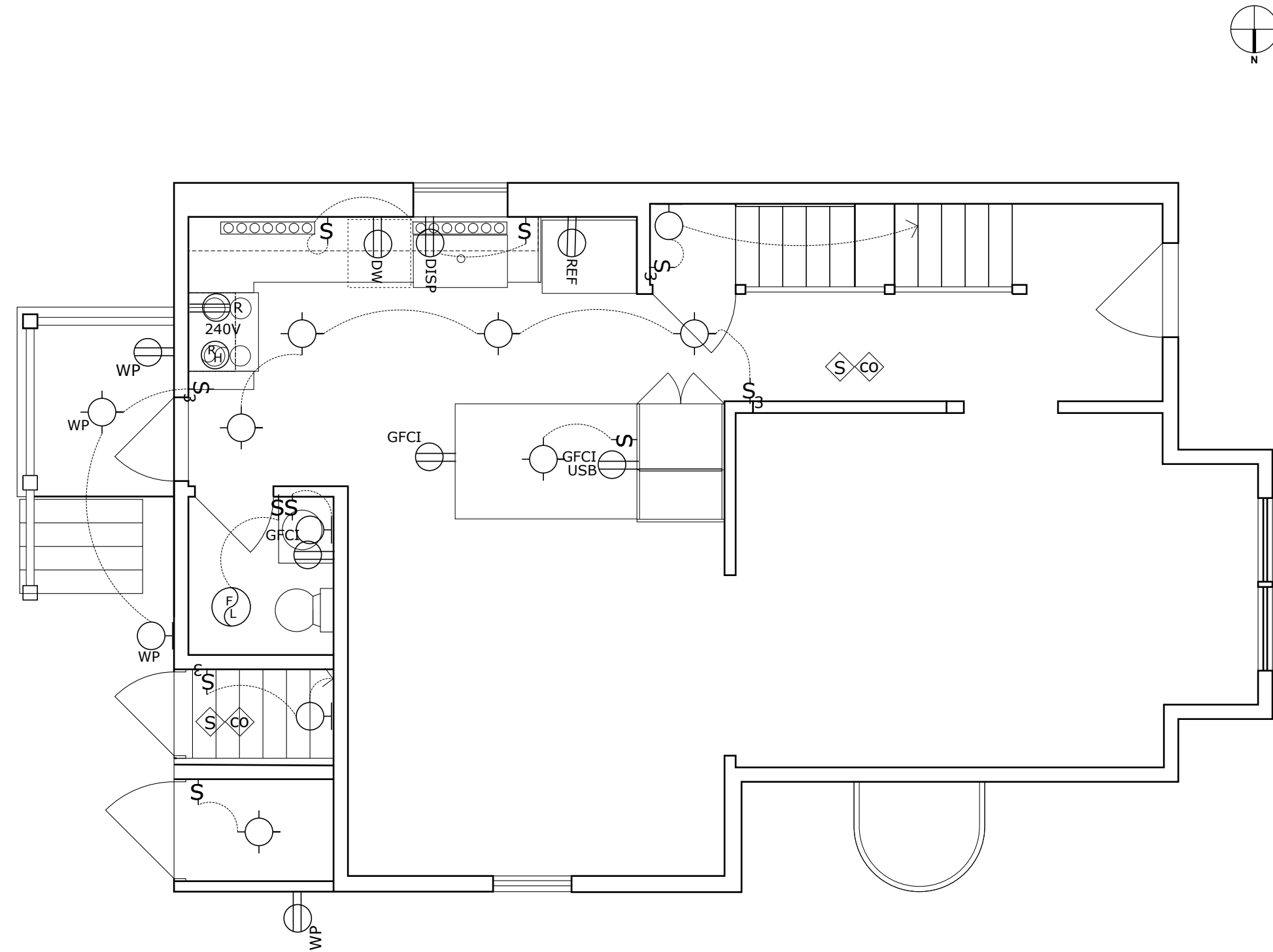
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BASEMENT
ELECTRICAL
PLAN

E-1



FIRST FLOOR ELECTRICAL PLAN

ELECTRICAL SYMBOLS	
FAN / LIGHT	
CEILING LIGHT	
WALL LIGHT	
WATER PROOF LIGHT	
GFCI DUPLEX OUTLET	
DUPLEX OUTLET	
GFCI DUPLEX OUTLET w. USB	
SINGLE POLE SWITCH	
THREE WAY SWITCH	
WATER PROOF OUTLET	
RANGE OUTLET	
DISHWASHER OUTLET	
GARBAGE DISP. OUTLET	
REFRIGERATOR OUTLET	
SMOKE DETECTOR	
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FIRST FLOOR ELECTRICAL PLAN

E-2

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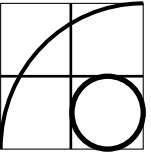
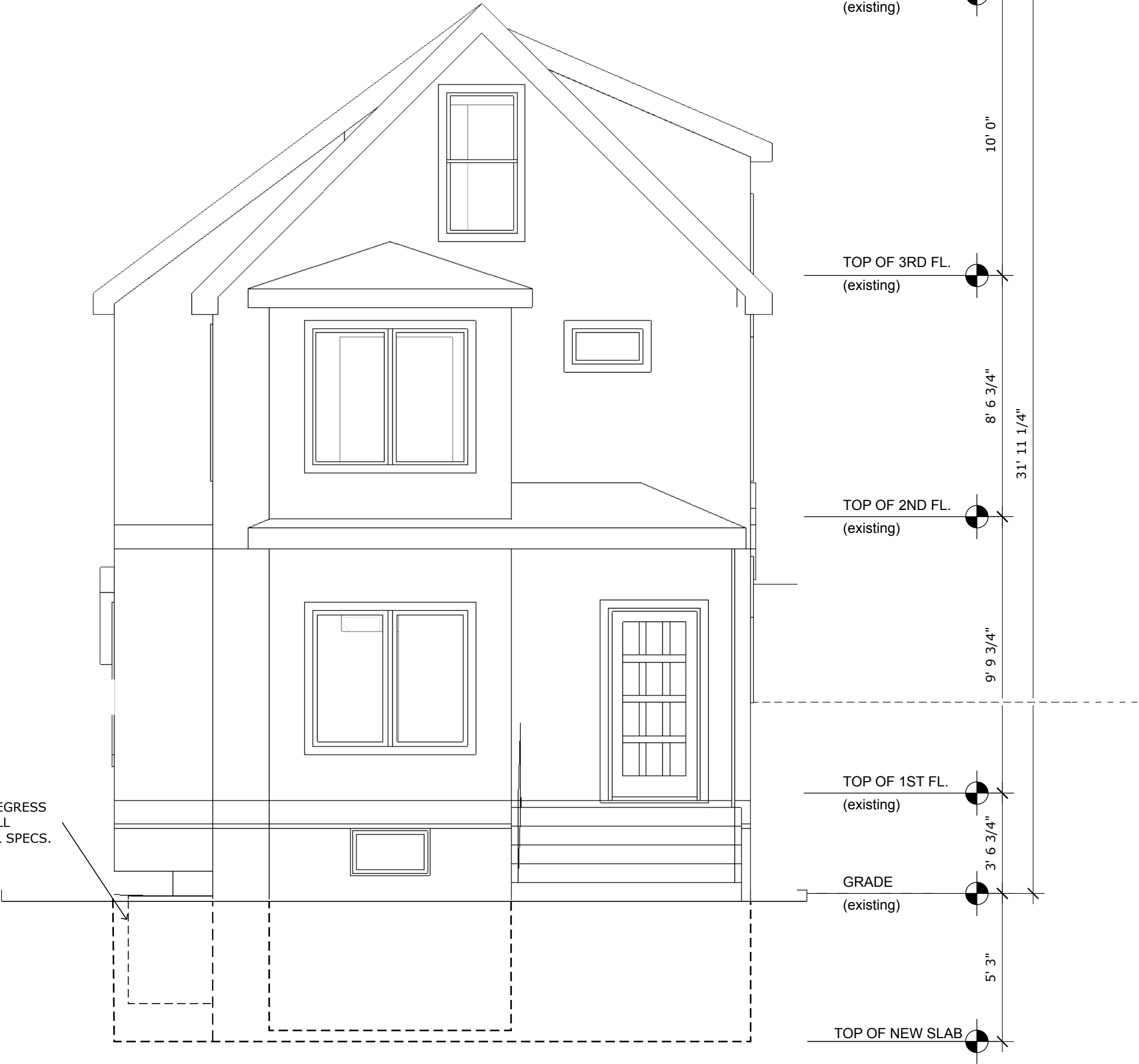
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WEST ELEVATION
(PERRY STREET)

EMERGENCY EGRESS
WINDOW WELL
SEE A8-1 FOR SPECS.



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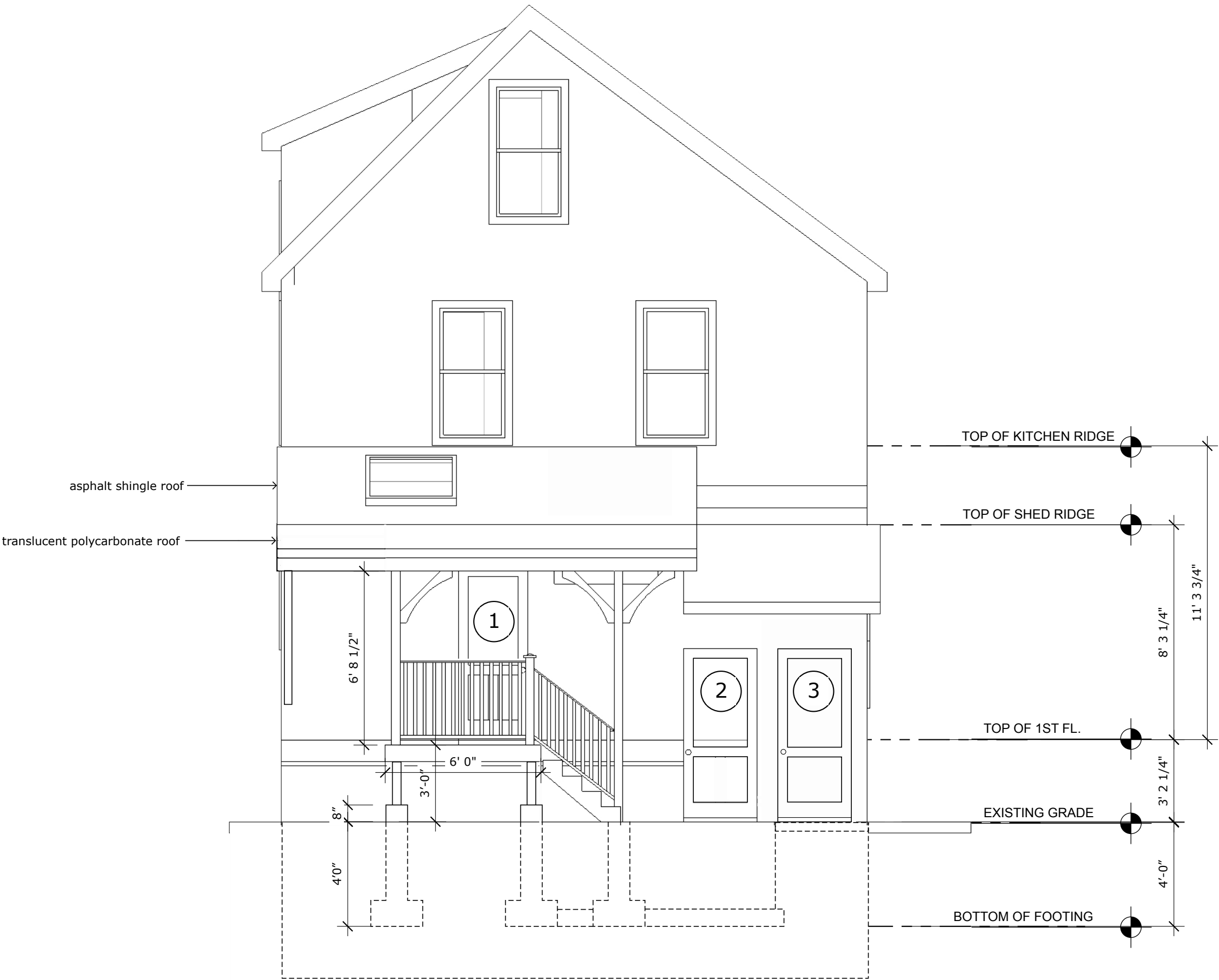
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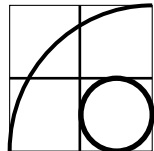
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**WEST
(STREET)
ELEVATION**

A-4



EAST (REAR) ELEVATION



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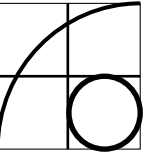
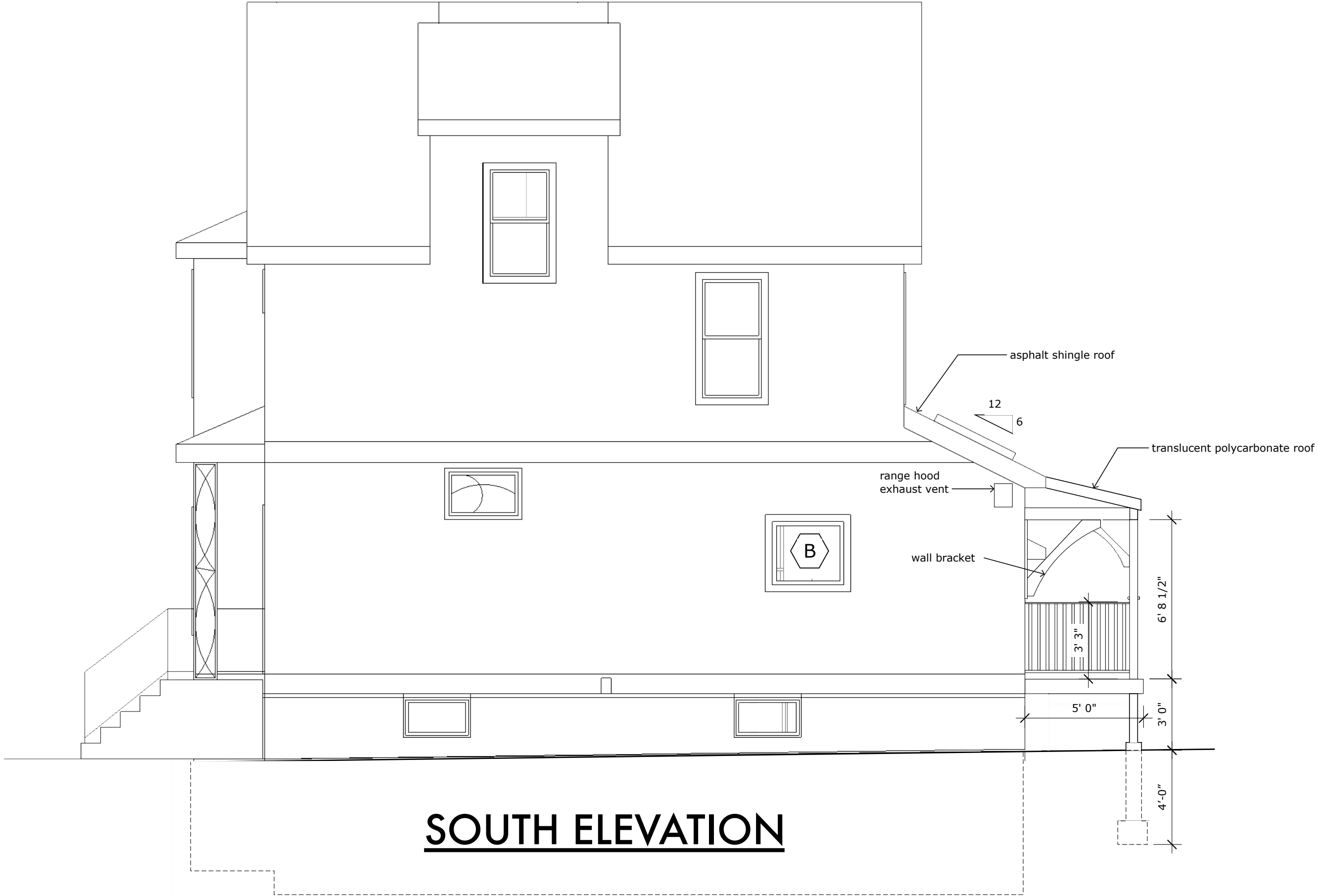
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**EAST
ELEVATION
(REAR)**

A-5



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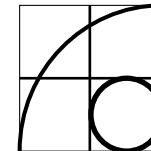
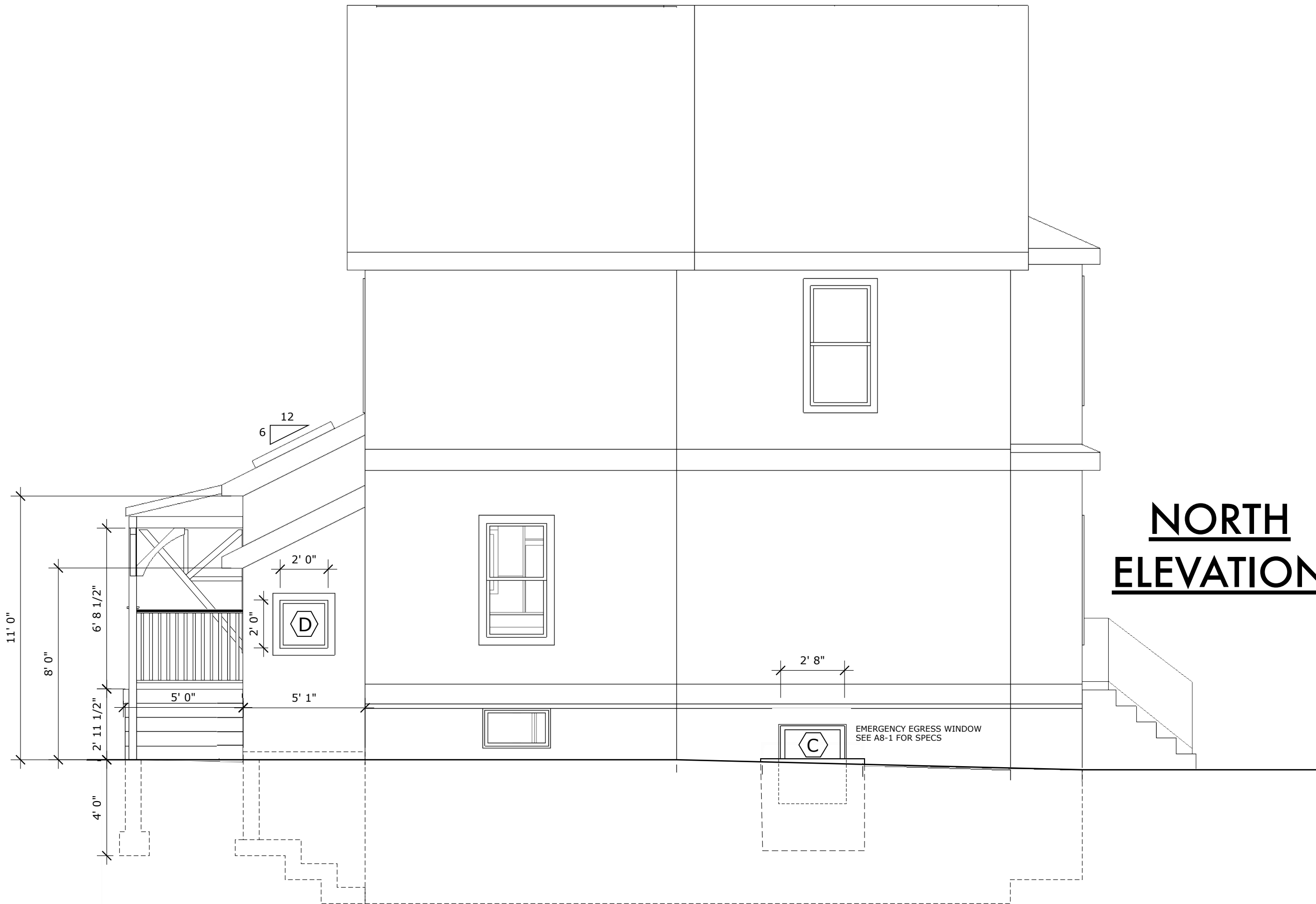
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**SOUTH
ELEVATION**

A-6



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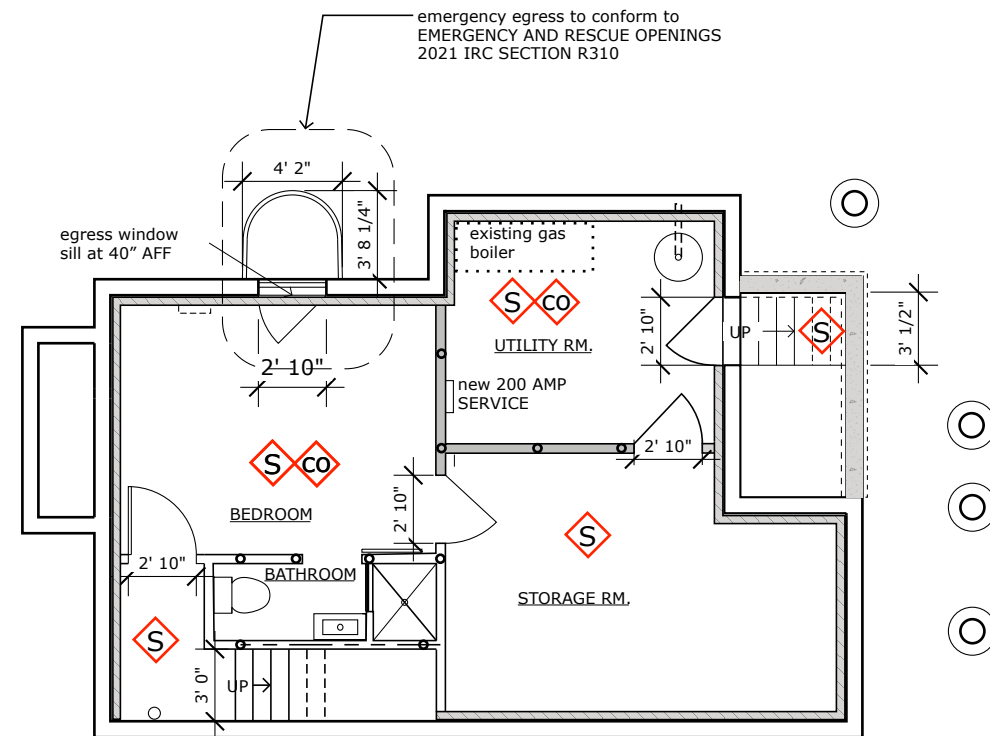
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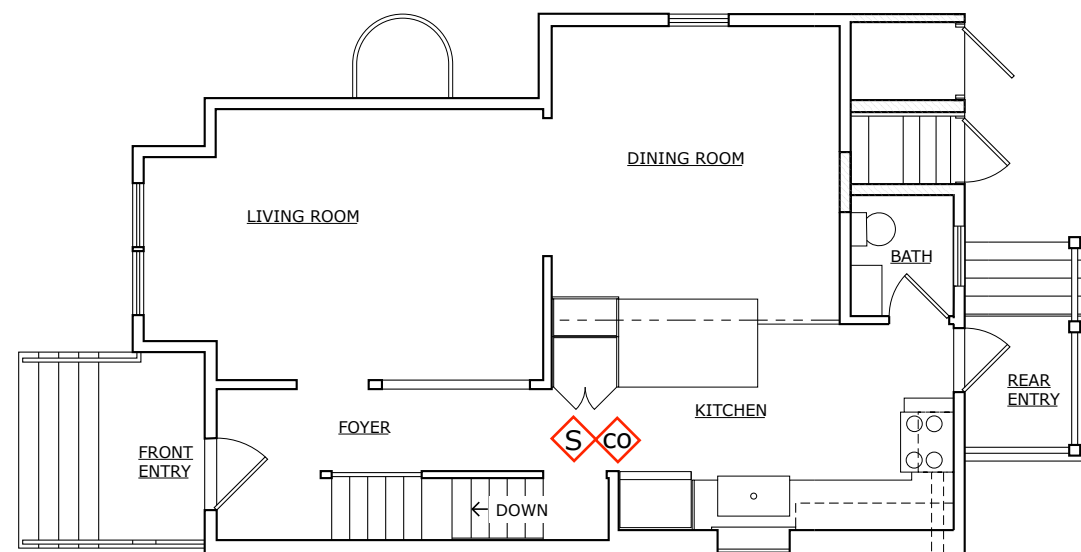
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**NORTH
ELEVATION**

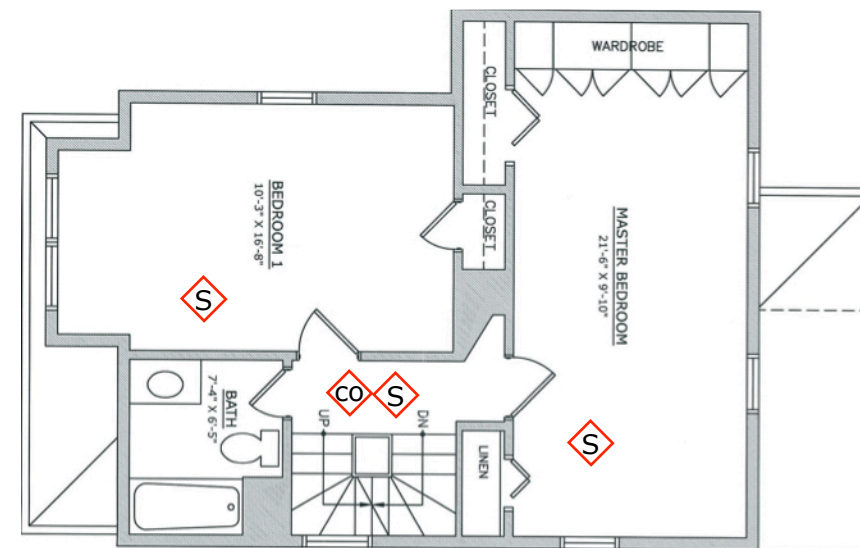
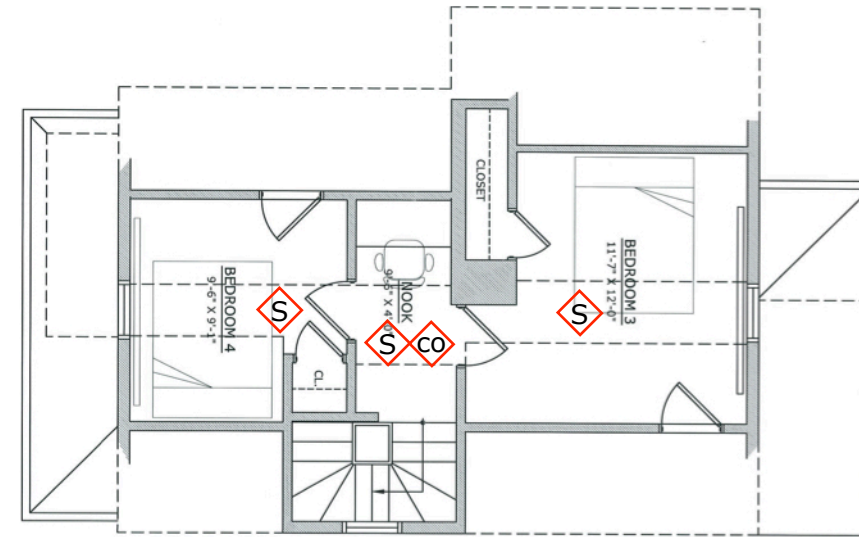
A-7



BASEMENT LEVEL (EXTENSIVE ALTERATIONS)



1ST FLOOR (ALTERATIONS AT KITCHEN, NEW BATH & PORCH)



NOTES:

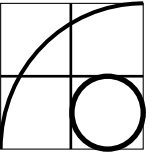
1. EMERGENCY AND RESCUE OPENINGS CONFORM TO 2021 IRC SECTION R310

2. SMOKE AND CARBON MONOXIDE ALARM INSTALLATION CONFORM TO 2021 IRC SECTIONS 314 & 315

 COMBINATION SMOKE AND CO2 DETECTOR CONFORMS TO US STD. UL 2034 & UL 217

 SMOKE DETECTOR CONFORMS TO US STD. UL 217

 CARBON MONOXIDE DETECTOR CONFORMS TO US STD. UL 2034



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PROJECT
10 Perry St
Renovation

PROJECT NO.
<23.03>

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kristjan.varnik@gmail.com
Andrea Broggi
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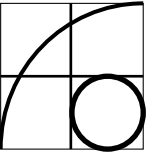
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SCALE
1/8" = 1'-0"

**FIRE
DETECTION**

F-1



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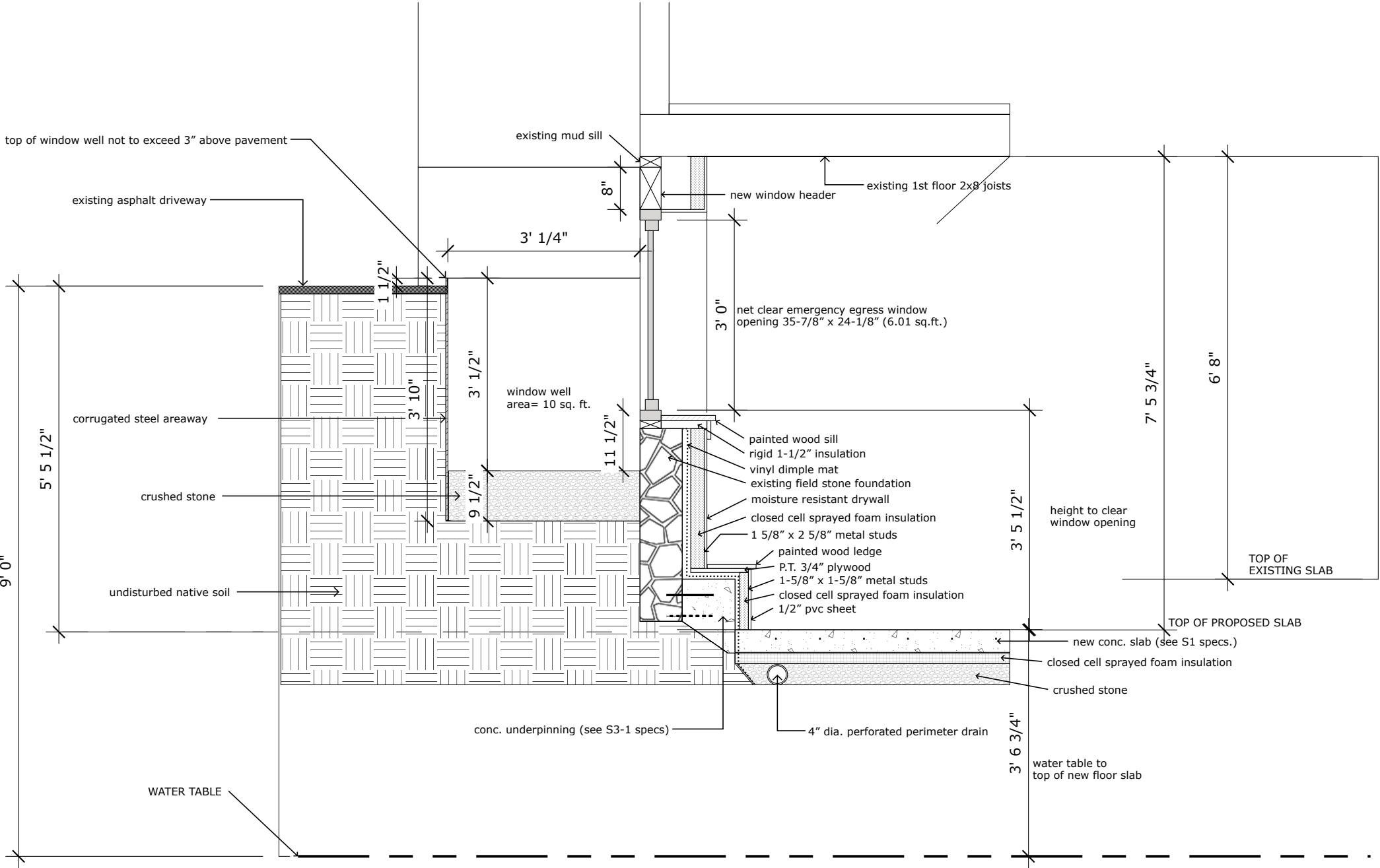
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SECTION THRU
EMERGENCY
EGRESS WINDOW

A-8



WATER TABLE DEPTH
SEE SHEET GEO-1
CARR-DEE CORP JOB NO. 2023-182
BORING 1 (11-3-2023)

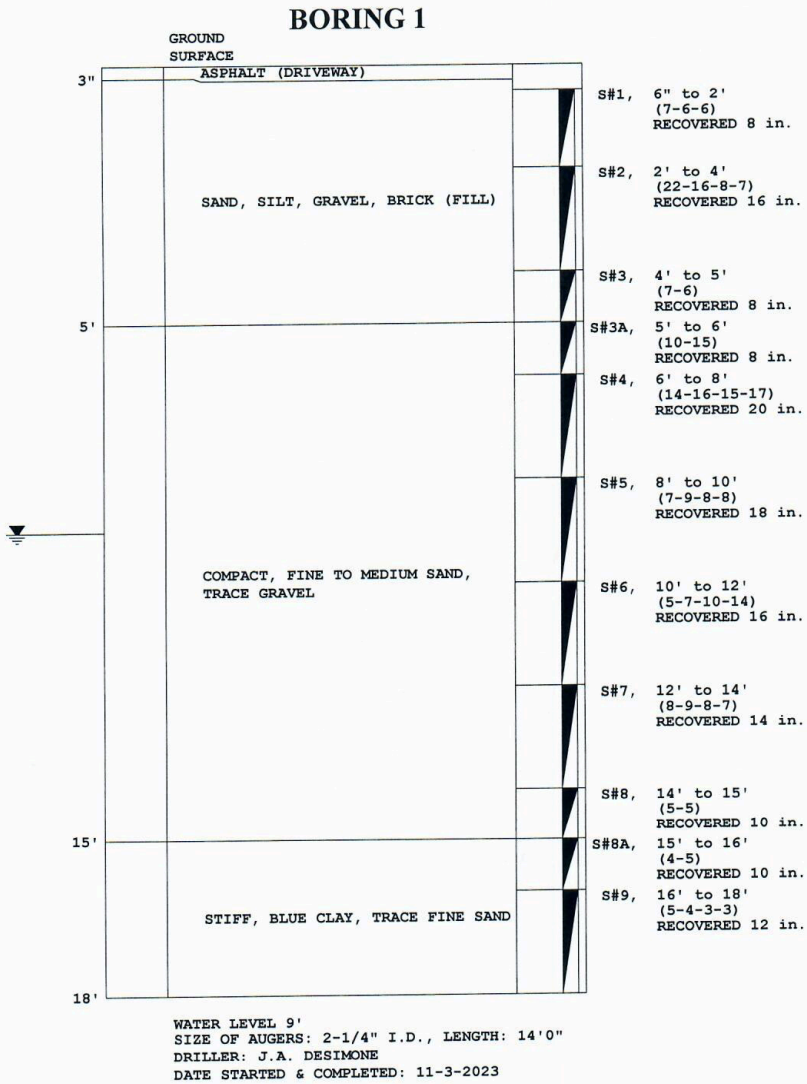
01
A-8

SECTION AT EMERGENCY
EGRESS WINDOW

Scale: 1/2" = 1'-0"

CARR-DEE CORP.

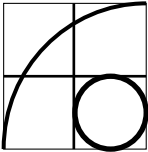
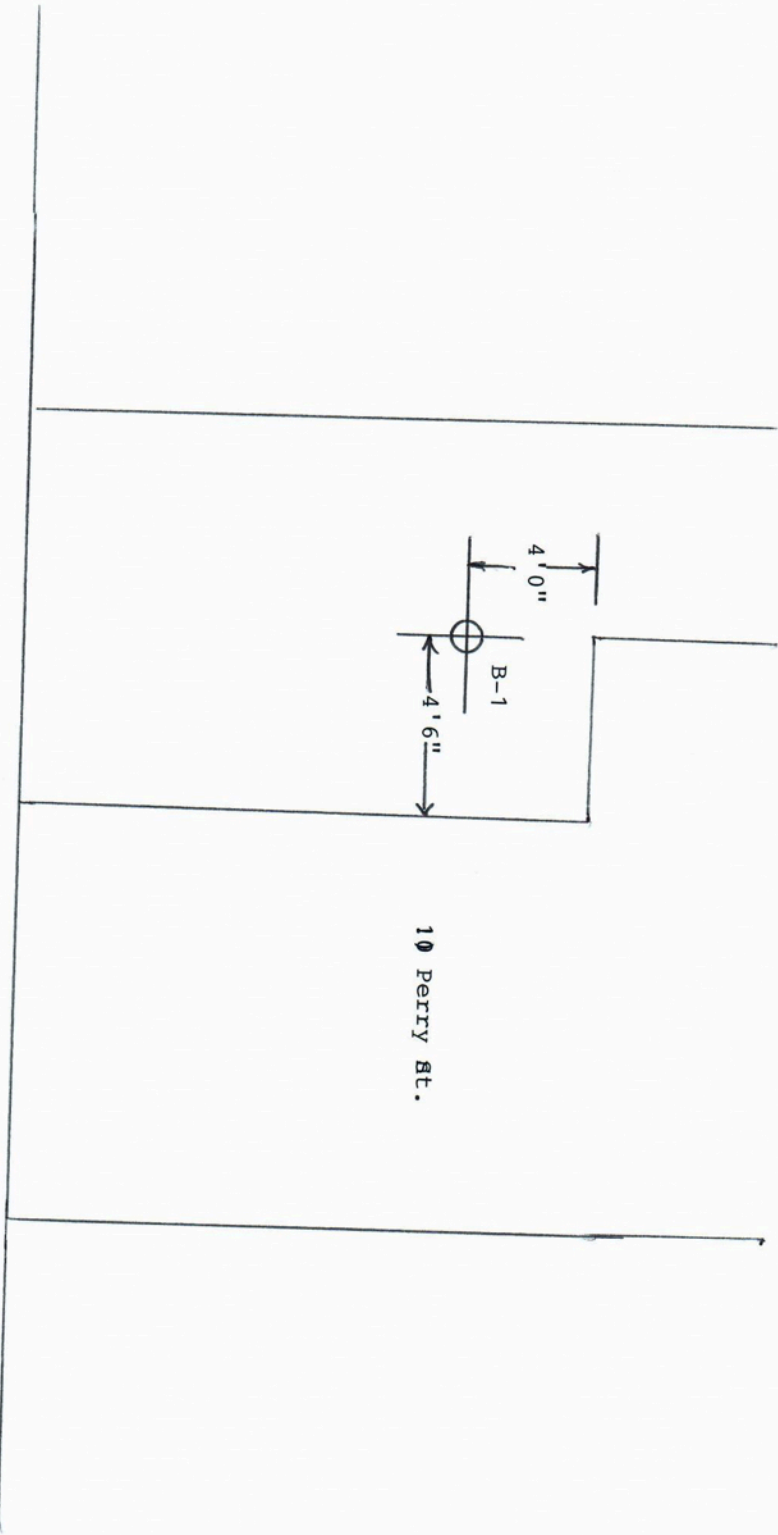
37 LINDEN STREET MEDFORD, MA 02155-0001 Telephone (781) 391-4500
To: ARTISAN BUILDERS, 14 PERRY ST., SOMERVILLE, MA Date: 11-3-2023 Job No.: 2023-182
Location: 10 PERRY STREET, SOMERVILLE, MA Scale: 1 in. = 3 ft.



All samples have been visually classified by . Unless otherwise specified, water levels noted were observed at completion of borings, and do not necessarily represent permanent ground water levels. Figures in parenthesis indicate the number of blows required to drive Two-inch Split Sampler 6 inches using 140 lb. weight falling 30 inches(±). Figures in column to left (if noted) indicate number of blows to drive casing one foot, using 300 lb. weight falling 24 inches (±).

PERRY STREET

Sketch by:
Driller
NOT TO SCALE



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BORING DATA

WATER TABLE
DEPTH

CARR-DEE
CORP JOB NO.
2023-182
BORING 1
(11-3-2023)

GEO-1



exterior doors
1,2,3,6



interior doors
4,7,8,5,9



shower door
10



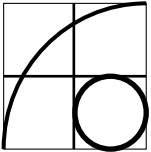
basement egress window C



WINDOW WELL

<u>Door Schedule*</u>	number / letter	size	style	material	type	hardware
Exterior Doors	1,2,3,6	2'-8" x 6'-8" x 1-3/4"	half view / 4-lite / single panel	fiberglass	pre-hung , weather stripped, aluminum threshold	satin nickel lockset ,knob, hinges
Interior Doors	4,7,8	2'-8" x 6'-8" x 1-3/8"	3-panel shaker style	solid wood / mdf	slab / swing	satin nickel, passage set, hinges
Interior Door	5	2'-4" x 6'-8" x 1-3/8"	3-panel shaker style	solid wood / mdf	slab / swing	satin nickel, passage set, hinges
Interior Door	9	2'-4" x 6'-8" x 1-3/8"	3-panel shaker style	solid wood / mdf	slab / sliding	satin nickel, barn door sliding , pocket door privacy
Shower Door	10	3'-6" x 6'-6" x 3/8"	clear safety glass	safety glass	25" door with side panel	satin nickel / solid brass
<u>Window Schedule *</u>						
Half bath	A	unit size 35-1/2" x 23-1/2" r.o. 36" x 24"	AW3624 (MATHEWS) awning	white vinyl	AWNING	integrated white aluminum
Kitchen	B	existing nom. 24" x 36"		white vinyl	CASEMENT	existing
Basement Egress	C	unit size 31" x 40" x 8" r.o. 32" x 41" NET CLEAR OPENING : 24-3/8" X 35-7/8"	in-swing casement egress window to meet Ninth Edition MA residential code 780 CMR, section 129 (IRC R310.2)	white vinyl	left hand in swing	integral white aluminum
Shed Window	D	unit size 23-1/2" x 23-1/2" r.o. 24" x 24"	CW2424	white vinyl	AWNING	integrated white aluminum
Window Well		H: 46" W: 50" L: 36" AREA = 10.1 sq.ft.	Bowman Kemp or Equiv. window well to meet Ninth Edition MA residential code 780 CMR, section 129 (IRC R310.2)	white galvanized		

*SEE N-2 FOR FENESTRATION ENERGY INFORMATION



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NO SCALE

DOOR &
WINDOW
SCHEDULE

GENERAL

- 1. ALL WORK SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE MASSACHUSETTS STATE BUILDING CODE AND ALL APPLICABLE LOCAL JURISDICTION RULES AND REGULATIONS. PROJECTS IN THE CITY OF SOMERVILLE SHALL CONFORM TO SOMERVILLE BUILDING CODES.
- 2. CONTRACTOR TO VERIFY ALL DIMENSION DATUMS AND LEVELS PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- 4. THESE DRAWINGS ARE THE PROPERTY OF ROBERT CARUSO / ARTISAN BUILDERS AND MAY BE REPRODUCED ONLY WITH WRITTEN PERMISSION.
- 5. WORKING DRAWINGS BY THEIR VERY NATURE ARE DIAGRAMMATIC AND DO NOT PROVIDE ALL DETAILS OR CONDITIONS OF CONSTRUCTION. HOWEVER, QUESTIONS MAY ARISE AS TO THE DESIGN INTENT AND TO CONSTRUCTION TECHNICAL DETAILING WITHIN THESE DRAWINGS.

MISCELLANEOUS ASSEMBLY REQUIREMENTS

- 1. ALL EXPOSED EXTERIOR METAL SHALL BE GALVANIZED.
- 2. ALL WOOD IN CONTACT WITH CONCRETE OR EARTH SHALL BE PRESSURE TREATED. ALL PRESSURE TREATED LUMBER (PT.) SHALL NOT CONTAIN, OR BE TREATED WITH CHROMIUM COPPER ARSENATE.
- 3. EXTERIOR DOORS AND WINDOW ASSEMBLIES
 - a. ALL BUILDING ENTRANCE DOORS DOORS SHALL BE EQUIPPED WITH LOCKS CONSISTING OF A DEAD LOCKING LATCH BOLT WITH AT LEAST 1/2" OF THROW WHICH PENETRATES THE STRIKE JAMB A MINIMUM OF 1/4". BUILDING ENTRANCE DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 4. APPROVED CORRISION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT THE ENTRY OF WATER INTO THE WALL CAVITY, REPEATED WETTING OF THE SHEATHING, OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS;
 - a. AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF.

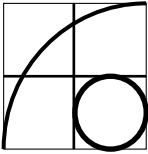
STRUCTURAL NOTES

SEE ALSO THE STRUCTURAL ENGINEER'S NOTES ON ATTACHED "S" SHEETS.
THE FOLLOWING STRUCTURAL NOTES ARE SUPPLEMENTAL TO THE ENGINEERING NOTES. IN ANY CASE OF CONFLICT, THE ENGINEER'S STRUCTURAL NOTES SHALL SUPERSEDE THESE NOTES.

- 1. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO THE DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.
- 2. CONCRETE SLABS ON GRADE SHALL BE 4" THICK MINIMUM. A 4” THICK GRAVEL BASE COURSE SHALL BE PLACED ON THE PREPARED SUBGRADE WHEN THE SLAB IS BELOW GRADE PER IRC R506.2.2
- 3. A CONTINUOUS ICYNENE CLOSED CELL FOAM INSULATION AND VAPOR BARRIER SHALL BE INSTALLED BELOW THE SLAB TO R=10
- 4. WOOD STRUCTURAL PANEL SHEATHING (PLYWOOD AND OSB) SHALL MEET REQUIREMENTS OF THE IRC R503.2. EACH PIECE SHALL BARE THE RATING STAMP OF THE APPROPRIATE AGENCY.
- 5. ALL STRUCTURAL PANEL COMPONENTS OF THE BUILDING SUCH AS SOFTWOOD PLYWOOD, PARTICLE BOARD, WAFER BOARD, AND OSB SHEATHING SHALL BE IDENTIFIED AS "EXTERIOR".

ELECTRICAL NOTES

- 1. ALL ELECTRICAL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL BUILDING CODE AND THE MASSACHUSETTS STATE ELECTRICAL CODE, LATEST EDITION. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- 2. PROVIDE ELECTRICAL GROUND WIRES EMBEDDED IN FOUNDATION PER ELECTRICAL CODE.
- 3. 110 V HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP SHALL BE INSTALLED IN A CENTRAL LOCATION ON EACH STORY, LEVEL, OR ISOLATED SPACE. EACH SMOKE DETECTOR SHALL BE INTERCONNECTED SO AS TO SOUND ALARMS IN EACH ROOM OR AREA IF ONE DETECTOR IS TRIGGERED, PER IRC R313



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NOTES

DOOR AND WINDOW NOTES

- 1. EVERY SLEEPING ROOM AND HABITABLE ROOMS IN BASEMENTS SHALL HAVE AT LEAST ONE OPERABLE WINDOW WITH A NET CLEAR OPENING OF 5.7 SF. THE OPENING HEIGHT SHALL BE 24" MINIMUM AND WIDTH 20" MINIMUM, WITH A FINISHED SILL HEIGHT NO MORE THE 44" ABOVE THE FLOOR, PER IRC R310.1. IF WINDOW WELLS ARE NECESSARY THEY SHALL MEET THE REQUIREMENTS OF IRC R310.2.
- 2. EXTERIOR WINDOWS AND GLASS DOORS SHALL BE DESIGNED TO RESIST THE DESIGN WIND LOADS SPECIFIED IN TABLE R301.2(2) AND ADJUSTED FOR HEIGHT AND EXPOSURE PER TABLE R301.2(3).
- 3. EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF IRC SECTION R308
- 4. GLAZING IN HAZARDOUS LOCATIONS SUCH AS:
 - a. PANES IN SWINGING, SLIDING, STORM OR BIFOLD DOORS,
 - b. GLAZING WITHIN 24" OF A DOOR OPENING,
 - c. GLAZING IN STAIRWAYS,
 - d. GLAZING IN SHOWER OR TUB SURROUNDS
 - e. GLAZING IN GUARDS AND RAILINGS
 - f. GLAZING CLOSER THAN 18" TO A FLOORSHALL BE SAFETY GLAZING OR WIRE REINFORCED, TEMPERED OR LAMINATED SAFETY GLASS, OR SHATTER RESISTANT PLASTIC PER IRC R308.4. GLAZING WITH THE EXPOSED EDGE WITHIN A 24" ARCH OF THE VERTICAL EDGE OF A DOOR SHALL BE SAFETY GLAZING PER IRC R308.4

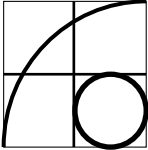
FENESTRATION ENERGY INFORMATION

WINDOWS A,C,D
U-Factor : 0.27 ; SHGC : 29 ; R-Value : 3.70
Condensation Resistance: The following values are in accordance with NFRC 500- 2014. a. Low-E with Argon: 1) CR: ≥ 6

EXTERIOR DOORS 1,2,3,6
U-Factor: 0.28 Solar Heat Gain Coefficient: 0.27 Visible Light Transmittance: 0.47
Condensation Resistance: 62 CPD Number: MAR-N-306-00356-00001 ENERGY STAR: N, NC

MECHANICAL AND ENERGY NOTES

- 1. ALL WORK SHALL CONFORM TO THE INTERNATIONAL MECHANICAL CODE , IECC2018,THE MASSACHUSETTS STATE ENERGY CODE with MA amendments, USING Total UA alternative of the Prescriptive path (R402.1.5).
- 2. SEE BUILDING SECTION FOR INSULATION RATING AND LOCATION.
- 3. KITCHEN RANGE FAN, EXHAUST FANS, AND CLOTHES DRYERS SHALL EXHAUST DIRECTLY TO THE OUTSIDE. VENTS SHALL BE SMOOTH, NON-COMBUSTIBLE, NONABSORBENT AND EQUIPPED WITH BACKDRAFT DAMPER. ALL EXHAUST OUTLETS SHALL TERMINATE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- 4. ENERGY CODE GENERAL NOTES:
 - a. ELECTRICAL OR GAS WATER HEATERS SHALL HAVE THE FOLLOWING:
 - i. SEPARATE POWER SHUT OFFS.
 - iv. TEMPERATURE SETTING OF 120 DEGREES F.
 - b. SHOWER AND LAVATORIES SHALL LIMIT FLOW TO 2.6 GPM
 - c. CEILING INSULATION: EXISTING ICYNENE CLOSED CELL FOAM INSULATION R=49
 - d. WALL INSULATION SHALL BE: ICYNENE CLOSED CELL FOAM INSULATION R=22
 - e. CONCRETE SLAB INSULATION SHALL BE: ICYNENE CLOSED CELL FOAM INSULATION AND VAPOR BARRIER R=10
 - f. CONCEALED INSULATION SHALL BE PLACED BEHIND SHOWER/ TUB AND BEHIND PARTITION STUD/ CORNER.
 - g. ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED PER MASSACHUSETTS STATE ENERGY CODE
 - h. STANDARD AIR LEAKAGE ; CAULKING IS COMPLETE WHEN INSTALLED IN THE FOLLOWING LOCATIONS:
 - i. BETWEEN SOLE PLATE/ CONC. FLOOR.
 - ii. WIRING, PLUMBING/ DUCT REGISTER PENETRATIONS
 - iii. PARTITIONS/ STUD PENETRATIONS.
 - iv. LIGHT FIXTURE/ FLUE PENETRATIONS.
 - v. AROUND WINDOW AND DOOR FRAMES
 - k. MECHANICAL VENTILATION
 - i. MECHANICAL VENTILATION FAN DUCTS SHALL BE 4"
 - ii. MECHANICAL VENTILATION SYSTEMS SHALL HAVE A TIMER, DEHUMIDSTAT OR SWITCH
 - iii. MECHANICAL VENTILATION SYSTEMS SHALL HAVE R-4 INSULATION IN UNCONDITIONED SPACES PLUS BACK-DRAFT DAMPER.
 - iv. MECHANICAL VENTILATION SUPPLY DUCTS IN CONDITIONED SPACES SHALL HAVE R-4 INSULATION.
 - v. EQUIPPED WITH A BACKDRAFT DAMPER.



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WOOD

- 1. ALL WOOD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITIONS OF APPLICABLE AMERICAN WOOD COUNCIL CODES, STANDARDS, AND SPECIFICATIONS.
- 2. WOOD CONSTRUCTION SHALL CONFORM TO ARTICLE 23, "WOOD," OF THE MSBC, LATEST EDITION.
- 3. ALL NEW EXTERIOR WALLS SHALL BE 2x6 @ 16" ON-CENTER, UNLESS OTHERWISE NOTED (UON).
- 4. PROVIDE METAL HANGERS AT ALL FLUSH FRAME CONNECTIONS.
- 5. ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE IRC TABLE R602.3. FASTENERS EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- 6. MINIMUM BEARING FOR ALL JOISTS AND RAFTERS SHALL BE 1-1/2".
- 7. USE DOUBLE JOISTS UNDER ALL PARTITIONS.
- 8. PROVIDE ADEQUATE KING AND JACK STUDS AT ALL OPENINGS, AS SPECIFIED IN THE IRC.
- 9. ANCHOR BOLTS, AND BOLTS FOR STRUCTURAL WOOD CONNECTIONS SHALL BE ASTM A307. STANDARD CUT WASHERS SHALL BE PROVIDED BETWEEN WOOD AND BOLT-HEAD, AND BETWEEN WOOD AND BOLT-NUT UNLESS STEEL PLATES OR PLATE WASHERS ARE USED.
- 10. WHERE STUDS WALLS ARE GREATER THAN 8'-0" IN HEIGHT, PROVIDE A ROW OF 2x SOLID HORIZONTAL BLOCKING @ 4'-0" ON-CENTER.
- 11. BUILT-UP BEAMS SHALL BE FIRMLY NAILED OR BOLTED TOGETHER IN CONFORMANCE IRC REQUIREMENTS.
- 12. SILLS SHALL BE (2) 2x6 (PRESSURE TREATED), AND SHALL BE ANCHORED WITH 5/8" DIAMETER ANCHOR BOLTS NOT MORE THAN 32" ON-CENTER AND AT 8" FROM EACH CORNER.
- 13. TEMPORARY ERECTION BRACING SHALL BE PROVIDED TO HOLD STRUCTURAL TIMBER SECURELY IN POSITION DURING CONSTRUCTION. IT SHALL NOT BE REMOVED UNTIL PERMANENT BRACING AND SUPPORT HAS BEEN INSTALLED.
- 14. ALL WOOD PRODUCTS SHALL BE HANDLED AND COVERED AS TO PREVENT MARRING AND MOISTURE ABSORPTION FROM SNOW OR RAIN.
- 15. NO WOOD MEMBERS SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE A/E.
- 16. NO WOOD MEMBERS SHALL BE REPAIRED OR REINFORCED IN ANY WAY WITHOUT THE SPECIFIC APPROVAL OF THE A/E.
- 17. ALL LUMBER IN CONTACT WITH THE WEATHER, GROUND, OR CONCRETE SHALL BE PRESSURE TREATED.
- 18. ALL SOLID SAWN LUMBER IS INDICATED BY NOMINAL SIZE.
- 19. MATERIAL PROPERTIES OF WOOD SHALL CONFORM TO THE FOLLOWING:

2" NOMINAL THICKNESS, SPF #1/#2 OR BETTER (15% MAX MC)

ALLOWABLE BENDING STRESS (fb):	
(SINGLE MEMBER USE)	875 psi
(MULTIPLE MEMBER USE)	1000 psi
ALLOWABLE SHEAR STRESS (fv):	135 psi
COMPRESSION PARALLEL TO GRAIN:	1150 psi
COMPRESSION PERPENDICULAR TO GRAIN (fc):	425psi
MODULUS OF ELASTICITY (E):	1,400,000 psi

COMPOSITE WOODS

- 1. COMPOSITE WOODS SHALL BE MANUFACTURED BY BOISE CASCADE, OR AN APPROVED EQUAL, AND SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS.
- 2. COMPOSITE JOISTS AND BEAMS SHALL BE SPECIFIED AND INSTALLED PER THE MANUFACTURERS REQUIREMENTS.
- 3. MATERIAL PROPERTIES OF COMPOSITE WOODS SHALL CONFORM TO THE FOLLOWING:

1-3/4" LAMINATED VENEER LUMBER (LVL) MEMBERS BUILT UP FROM 1 TO 4 PLIES

ALLOWABLE BENDING STRESS (fb):	3100 psi
MODULUS OF ELASTICITY (E):	2,000,000 psi

SOLID POSTS OF PARALLEL STRAND LUMBER (PSL)

ALLOWABLE BENDING STRESS (fb):	2400 psi
COMPRESSION PARALLEL TO THE GRAIN (fc):	2500 psi
MODULUS OF ELASTICITY (E):	1,800,000 psi

RENOVATION AND RESTORATION

- 1. THE CONTRACTOR SHALL NOTIFY THE A/E WHEN, IN THE COURSE OF CONSTRUCTION OR DEMOLITION, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED, OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.
- 2. INFORMATION REGARDING THE EXISTING CONSTRUCTION OR CONDITIONS IS BASED ON AVAILABLE RECORD DRAWINGS (WHERE AVAILABLE), NON-DESTRUCTIVE SITE INVESTIGATIONS, AND INFERRED HISTORIC FRAMING TECHNIQUES, WHICH MAY OR MAY NOT REFLECT EXISTING CONDITIONS ACCURATELY. SUCH INFORMATION IS INCLUDED ON ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR, BUT THE A/E ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS.
- 3. VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS BEFORE PROCEEDING WITH WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE A/E BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- 4. WHERE NEW WORK WILL BE ADJACENT TO EXISTING CONSTRUCTION, VERIFY DIMENSIONS OF EXISTING CONSTRUCTION PRIOR TO FABRICATION OF NEW MEMBERS.
- 5. DETAILS SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR SITUATIONS.
- 6. NOTIFY ARCHITECT OF ANY CONTEMPLATED STRUCTURAL ALTERATION IN REASONABLE TIME TO RENDER AND DOCUMENT THE A/E'S DECISION.
- 7. STRUCTURAL ALTERATION SHALL BE PROCEEDED BY ADEQUATE SHORING AND/OR BRACING.
- 8. SCREW-TYPE SHORING POSTS SHALL BE PROVIDED FOR EXISTING WORK DURING THE REMOVAL OF EXISTING BEARING WALLS AND STRUCTURAL MEMBERS, AND THE INSTALLATION OF NEW STRUCTURAL WORK.
- 9. TEMPORARY SHORES SHALL BE PLACED AS CLOSE AS PRACTICABLE TO THE EXISTING STRUCTURAL WORK BEING REMOVED.
- 10. HEADERS SHALL BE PLACED ACROSS THE TOP OF SHORING POSTS AND SHALL BE SNUG AND TIGHT AGAINST THE UNDERSIDE OF THE STRUCTURE ABOVE.
- 11. SHORING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO THE STRUCTURE BELOW.
- 12. TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL DEAD LOADS CARRIED BY THE EXISTING STRUCTURAL WORK BEING REMOVED, AS WELL AS ANY CONSTRUCTION LIVE LOADS.
- 13. SHORES SHALL BE RELEASED GRADUALLY, AND LEFT LOOSELY IN PLACE FOR AT LEAST 2 DAYS TO ALLOW FOR STRUCTURAL SHAKE OUT.

GENERAL NOTES

- 1. STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES, INCLUSIVE OF "THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE," 9TH EDITION (ONE AND TWO FAMILY DWELLING CODE), IRC 2015, AND ASCE 7-10.
- 2. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING, AND APPROPRIATE MATERIAL STORAGE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER (A/E) SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS INDICATED ON THE DRAWINGS PRIOR TO THE START OF CONSTRUCTION, AND RESOLVE ANY ISSUES WITH THE A/E.
- 4. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING WORK WITH THE APPROPRIATE TRADES, DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- 5. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON A FRAMED FLOOR OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- 6. TYPICAL DETAILS AND NOTES SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK, EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY CONTACT DOCUMENTS.
- 7. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE A/E.

STRUCTURAL DESIGN LOADS

- 1. DEAD LOADS: WEIGHT OF BUILDING COMPONENTS, FLOOR TAKEN AS 20 psf
- 2. LIVE LOADS
 - TYPICAL FLOOR 40 psf
 - BEDROOMS/ATTIC 30 psf
 - SNOW LOAD: 30 psf (Pg=40; P_{fmin}=30; P_s=30)
- 3. SOIL BEARING TAKEN TO BE 2500 psf

FOUNDATIONS

- 1. ALL CONCRETE SHALL HAVE STONE AGGREGATE (NORMAL WEIGHT).
- 2. CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH (f'c) OF 3,000 psi TYPICAL, AND 4,000 psi AT GARAGE FLOORS.
- 3. CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A615 AND HAVE THE FOLLOWING MINIMUM YIELD STRENGTHS:
 - MAIN REINFORCING STEEL – 60ksi
 - TIES AND STIRRUPS – 40 ksi
- 4. REINFORCEMENT MINIMUM CLEARANCES:
 - CONCRETE PLACED AGAINST THE EARTH – 3"
 - CONCRETE PLACED IN FORMS – 1.5"
- 5. PROVIDE VAPOR BARRIER UNDER INTERIOR SLABS CAST ON GRADE.

ATTENTION

· THIS WORK IS INTENDED TO BE INCORPORATED INTO A BROADER SCOPE OF WORK, AND DOES NOT INCLUDE ANALYSIS OF DESIGN OF MEMBERS NOT SHOWN.
· IT IS IMPORTANT FOR THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT THIS PROJECT IS CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE STATE CODES, LOCAL CODES AND ORDINANCES. NO OMISSION FROM THESE PLANS GIVES PERMISSION FOR VIOLATION OF ANY CODE OR ORDINANCE.

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VARNIK RESIDENCE
10 PERRY ST. SOMERVILLE, MA

PERMIT SET

GENERAL NOTES
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DATE: Wednesday, August 2, 2023

SHEET NO.

S0a

KING & JACK STUD PLIES (UP TO 10' TALL)		
4" WALL		
HEADER SPAN	JACK STUDS	KING STUDS
≤ 3'-0"	1	1
≤ 4'-0"	1*	2
≤ 8'-0"	3*	3
≤ 12'-0"	SEE PLANS	4
≤ 16'-0"	SEE PLANS	SEE PLANS
6" WALL		
HEADER SPAN	JACK STUDS	KING STUDS
≤ 3'-0"	1	1
≤ 4'-0"	1*	2
≤ 8'-0"	2*	3
≤ 12'-0"	3*	5
≤ 16'-0"	SEE PLANS	SEE PLANS
*PLAN & DETAIL CALLOUTS CONTROL IN ALL CASES		

TYPICAL FASTENING REQUIREMENTS FOR WOOD FRAMING (PER 2015 IRC)		
MEMBER INTERSECTION	NUMBER OF FASTENERS (SEE NOTES FOR SIZE INFO.)	SPACING & LOCATION/TYPE
BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	(4) 8d BOX OR (3) 8d COMMON OR (3) 10d BOX OR (3) 3"x0.131" NAILS	TOE NAIL
CEILING JOISTS TO TOP PLATE	(4) 8d BOX OR (3) 8d COMMON OR (3) 10d BOX OR (3) 3"x0.131" NAILS	PER JOIST – TOE NAIL
CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS	(4) 10d BOX OR (3) 16d COMMON OR (4) 3"x0.131" NAILS	FACE NAIL
CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	SEE 2015 IRC TABLE R802.5.1(9)	FACE NAIL
COLLAR TIE TO RAFTER, FACE NAIL OR 1.25"x20 GA. STRAP TO RAFTER	(4) 10d BOX OR (3) 16d COMMON OR (4) 3"x0.131" NAILS	FACE NAIL EACH RAFTER
RAFTER TO ROOF TRUSS PLATE	(3) 16d BOX NAILS OR (3) 10d COMMON NAILS OR (4) 10d BOX NAILS OR (4) 3"x0.131" NAILS	2 TOE NAILS ON ONE SIDE AND 1-2 TOE NAILS ON OPPOSITE SIDE OPPOSITE SIDE AT CEILING TIES NULL
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	(4) 16d BOX NAILS OR (3) 10d COMMON NAILS OR (4) 10d BOX NAILS OR (4) 3"x0.131" NAILS	TOE NAIL
	(3) 16d BOX NAILS OR (2) 10d COMMON NAILS OR (3) 10d BOX NAILS OR (3) 3"x0.131" NAILS	END NAIL
STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON	24" O.C. FACE NAIL
	10d BOX OR 3"x0.131" NAILS	16" O.C. FACE NAIL
STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALLS PANELS)	16d BOX OR 3"x0.131" NAILS	12" O.C. FACE NAIL
	16d COMMON	16" O.C. FACE NAIL
BUILT-UP HEADER (2" WIDE TO 2" WIDE WITH 1/2" SPACER)	16d COMMON	16" O.C. EACH EDGE FACE NAIL
	16d BOX	12" O.C. EACH EDGE FACE NAIL
TOP PLATE TO TOP PLATE	16d COMMON	16" O.C. FACE NAIL
	10d BOX OR 3"x0.131" NAILS	12" O.C. FACE NAIL
TOP PLATE SPLICE (WHERE ACTING AS A CHORD)	(8) 16d COMMON OR (12) 16d BOX OR (12) 10d BOX OR (12) 3"x0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINTS (MIN. 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANEL)	16d COMMON	16" O.C. FACE NAIL
	16d BOX OR 3"x0.131" NAILS	12" O.C. FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	(3) 16d BOX OR (2) 16d COMMON OR (4) 3"x0.131" NAILS	(3) EACH 16" O.C. FACE NAIL (2) EACH 16" O.C. FACE NAIL (4) EACH 16" O.C. FACE NAIL

MEMBER INTERSECTION	NUMBER OF FASTENERS (SEE NOTES FOR SIZE INFO.)	SPACING & LOCATION/TYPE
TOP OR BOTTOM PLATE TO STUD	(4) 8d BOX OR (3) 16d BOX OR (4) 8d COMMON OR (4) 10d BOX OR (4) 3"x0.131" NAILS	TOE NAIL
TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	(3) 16d BOX OR (2) 16d COMMON OR (3) 10d BOX OR (3) 3"x0.131" NAILS	END NAIL
STUD BLOCKING	(3) 10d BOX OR (2) 16d COMMON OR (3) 3"x0.131" NAILS	FACE NAIL
TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	(3) 8d BOX OR (2) 8d COMMON OR (2) 10d BOX OR (2) STAPLES	FACE NAIL
1X6 FLOOR/ROOF BOARDS & SMALLER TO FRAMING	(3) 8d BOX OR (2) 8d COMMON OR (2) 10d BOX OR (2) STAPLES	
1X8 FLOOR/ROOF BOARDS TO FRAMING	(4) 8d BOX OR (3) 8d COMMON OR (3) 10d BOX OR (3) STAPLES	FACE NAIL
JOIST TO SILL, TOP PLATE, OR GIRDER	(4) 8d BOX OR (3) 8d COMMON OR (3) 10d BOX OR (3) 3"x0.131" NAILS	TOE NAIL
RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d BOX	4" O.C. TOE NAIL
	8d COMMON OR 10d BOX OR 3"x0.131" NAILS	6" O.C. TOE NAIL
2" PLANK FLOORING/ROOF TO FRAMING	(3) 16d BOX OR (2) 16d COMMON	AT EACH BEARING – FACE NAIL
RIM JOIST TO JOIST	(3) 16d COMMON OR (4) 10d BOX OR (4) 3"x0.131" NAILS OR (4) STAPLES (3" X 14 GA W/ 7/16" CROWN)	END NAIL
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d COMMON OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP & BOTTOM, STAGGERED
	10d BOX OR 3"x0.131" NAILS	24" O.C. FACE NAIL TOP & BOTTOM, STAGGERED ON OPPOSITE SIDES
	And (2) 20d COMMON OR (3) 16d BOX OR (3) 3"x0.131" NAILS	FACE NAIL AT ENDS AND AT EACH SPLICE
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	(4) 16d BOX OR (3) 16d COMMON OR (4) 10 BOX OR (4) 3"x0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
BRIDGING TO JOIST	(2) 10d	EACH END, TOE NAIL

BOX NAIL SIZES		COMMON NAIL	STAPLES: 1.75"x16GA W/1" CROWN (UNLESS OTHERWISE NOTED)
SIZES			
8d	2.5"x0.113"	2.5"x0.131"	
10d	3"x0.128"	3"x0.148"	
16d	3.5"x0.128"	3.5"x0.162"	
20d	---	4"x0.192"	



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SHEET NO.

S0b

UNDERPINNING PER DETAIL
ALL AROUND ASSOCIATED
WITH LOWER FOUNDATION
-COORDINATE BOT. EXIST.
FOUND. WALL WITH FUTURE
SLAB ELEV. PER DETAIL

FOOTINGS

- A** 1'-6"x1'-6"x10" FTG. W/ (2) #4 EA. WAY @ BOT.
B 1'-10"x1'-10"x10" FTG. W/ (3) #4 EA. WAY @ BOT.
C 2'-0"x2'-0"x10" FTG W/ (5) #4 EA. WAY BOT.

CHIMNEY REMOVAL
BY OTHERS

SAWCUT OR FORM
1/8"x3/4" CONTROL
JOINTS @ MAX. 12'-0"
SPACING EA. WAY

EXISTING
CRAWLSPACE
CONDITION TO BE
VERIFIED BY
CONTRACTOR
-SEE FRAMING
PLAN-

EXISTING
BULKHEAD
REFURBISHED
BY OTHERS

3-1/2"Ø CONC. FILLED LALLY
COL. TYP.
CONTACT ENG. FOR ADD.
INFO. FOR ALT. WOOD
POSTING @ SPECIFIC
LOCATIONS

WINDOW WELL BY OTHERS

(3) EXISTING BRICK SUPPORTS TO
BE REMOVED
-STOP WORK & CONTACT
ENGINEER IMMEDIATELY IF (E)
BEAM JOINT OCCURS OVER
BRICK COLUMN

MIN. 4" SLAB REINF. W/
6x6-W1.4xW1.4 WWF
OR #4 @ 24" O.C. EA. WAY
-REINFORCING SHALL BE
CENTERED IN SLAB -
SUPPORT AS REQ'D
DURING CURING

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE: FIELD VERIFY EXISTING FRAMING CONDITIONS. IF
EXISTING MEMBERS ARE SHOWN INCORRECTLY, OR
SHOW SIGNS OF DAMAGE OR DECAY, STOP WORK
AND CONTACT ENGINEER FOR FURTHER DIRECTION.



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FOUNDATION PLAN
SCALE: AS NOTED
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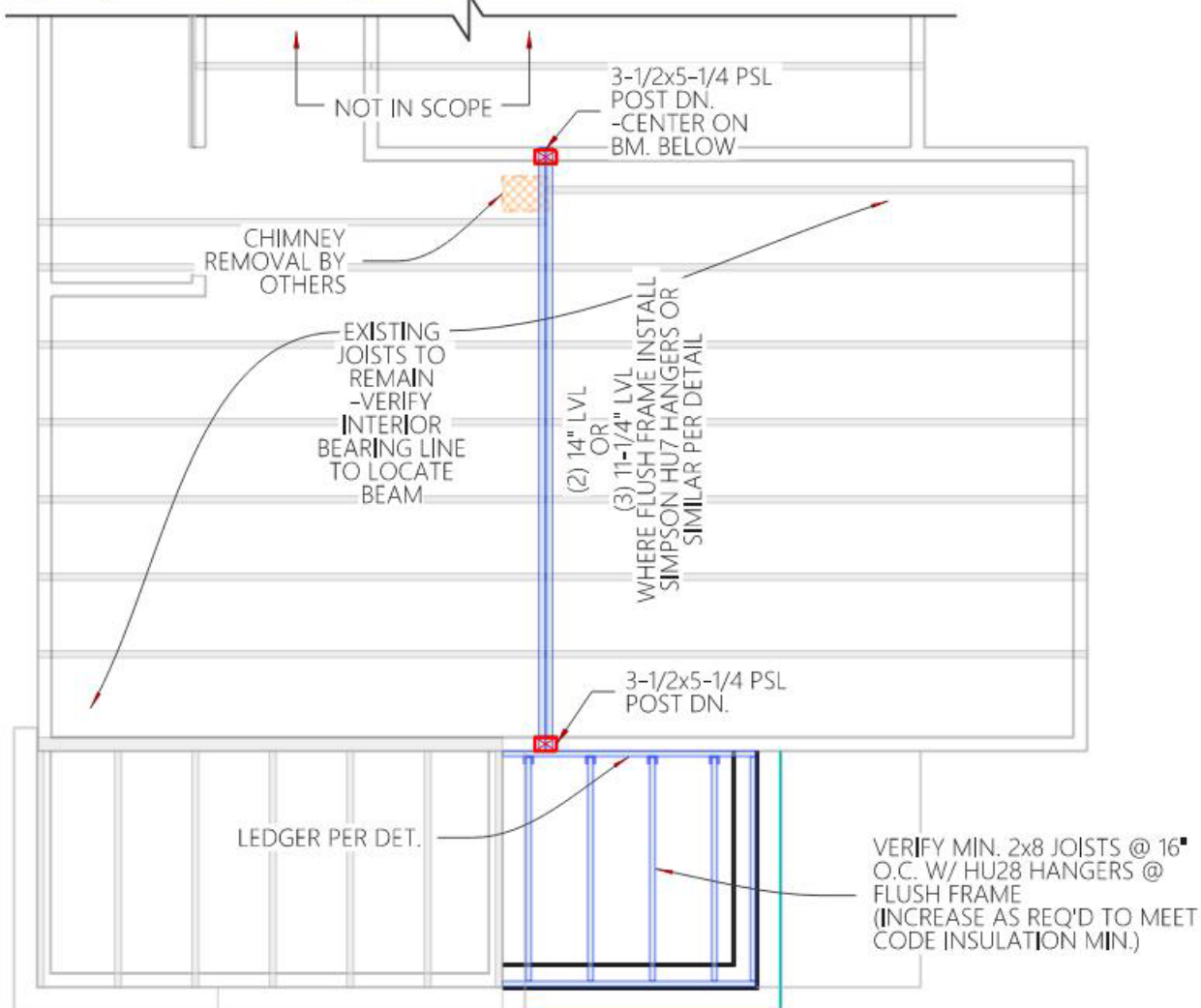
SHEET NO.

S1



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SIMPSON HUS48 OR SIM. @ NEWLY SISTERED JOISTS
SEE DETAILS FOR ADDITIONAL INFORMATION AT SIM. LOCATIONS



SECOND FLOR FRAMING PLAN

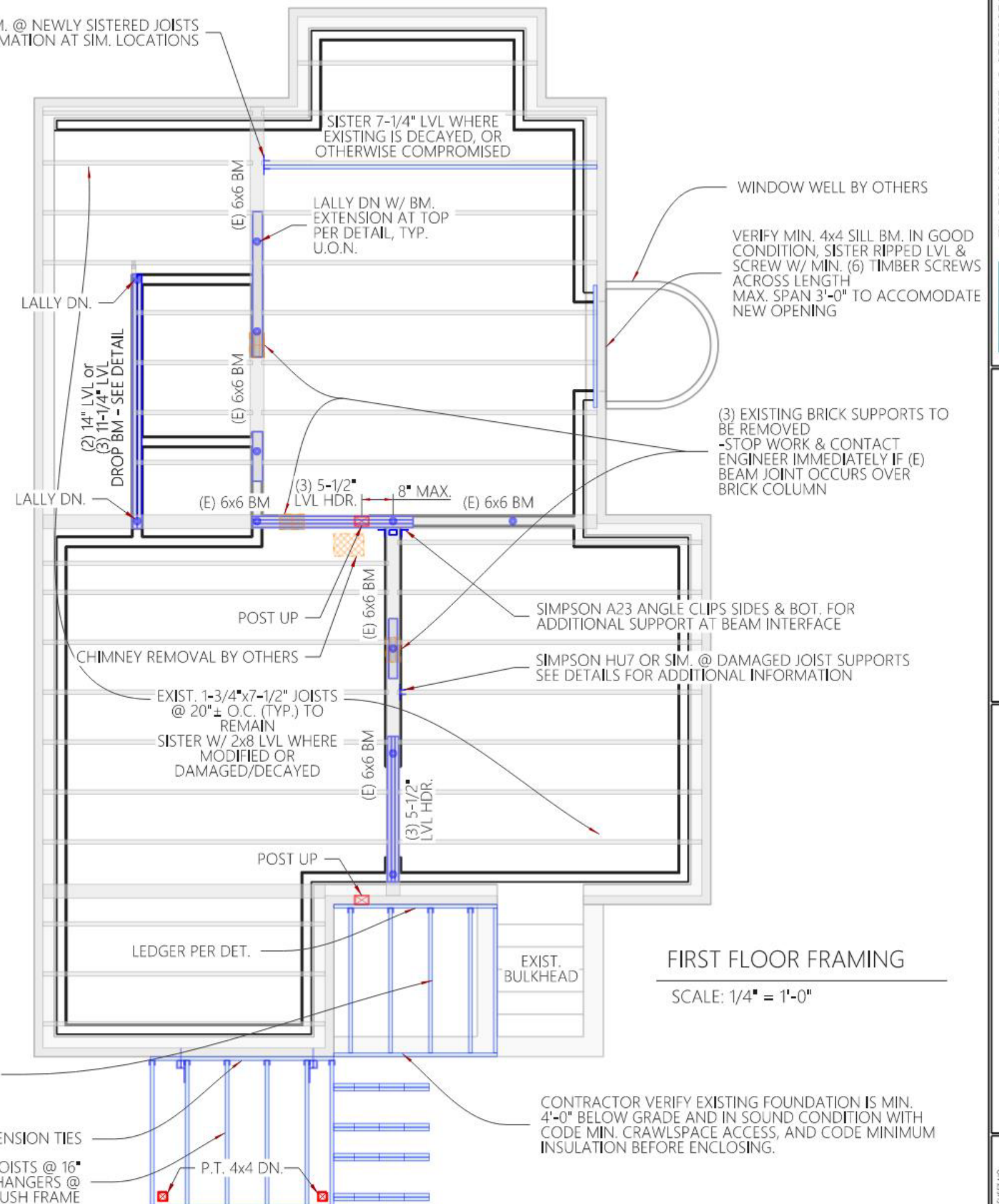
SCALE: 1/4" = 1'-0"

NOTE: FIELD VERIFY EXISTING FRAMING CONDITIONS. IF EXISTING MEMBERS ARE SHOWN INCORRECTLY, OR SHOW SIGNS OF DAMAGE OR DECAY, STOP WORK AND CONTACT ENGINEER FOR FURTHER DIRECTION.

NEW 2x8 JOISTS @ 16" O.C. W/ HU28 HANGERS @ FLUSH FRAME (INCREASE AS REQ'D TO MEET CODE INSULATION MIN.)

LEDGER PER DET. W/ TENSION TIES

NEW P.T. 2x8 JOISTS @ 16" O.C. W/ HU28 HANGERS @ FLUSH FRAME



FIRST FLOOR FRAMING

SCALE: 1/4" = 1'-0"

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FRAMING PLAN
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SHEET NO.
S2

UNDERPINNING NOTES - READ CAREFULLY

FOUNDATION UNDERPINNING WORK HAS THE POTENTIAL TO WEAKEN THE FOUNDATION AND CAN RESULT IN FOUNDATION MOVEMENT IF NOT EXECUTED CORRECTLY. THE CONTRACTOR IS RESPONSIBLE FOR MITIGATING ANY POTENTIAL MOVEMENT AND ENSURING THE FOUNDATION REMAINS SAFE UNTIL CONSTRUCTION IS COMPLETE. THE CONTRACTOR BEARS RESPONSIBILITY FOR ALL TEMPORARY EXCAVATIONS, AND MEANS AND METHODS FOR CONDUCTING THE WORK, INCLUDING TEMPORARY SHORING. WALTMAN STRUCTURAL ADVISES IMPLEMENTING A SEQUENCING PLAN FOR THE UNDERPINNING PROCESS, AND INSTALLATION OF TEMPORARY LATERAL WALL BRACING UNTIL THE SLAB IS POURED, PROVIDING PERMANENT LATERAL SUPPORT AT THE BASE.

CONFIRM BOTTOM OF FOUNDATION ELEVATIONS BEFORE PROCEEDING WITH WORK. STOP WORK AND CONTACT ENGINEER IF CONDITIONS DO NOT MATCH DRAWINGS.

UNDERPIN ALTERNATING SECTIONS 2'-0" TO 4'-0" LONG AND NO GREATER THAN 3'-0" LONG AT ENDS/CORNERS.

DO NOT BEGIN SOIL REMOVAL AT ADJACENT SECTIONS UNTIL DRYPACK HAS CURED FOR MIN. 2 DAYS



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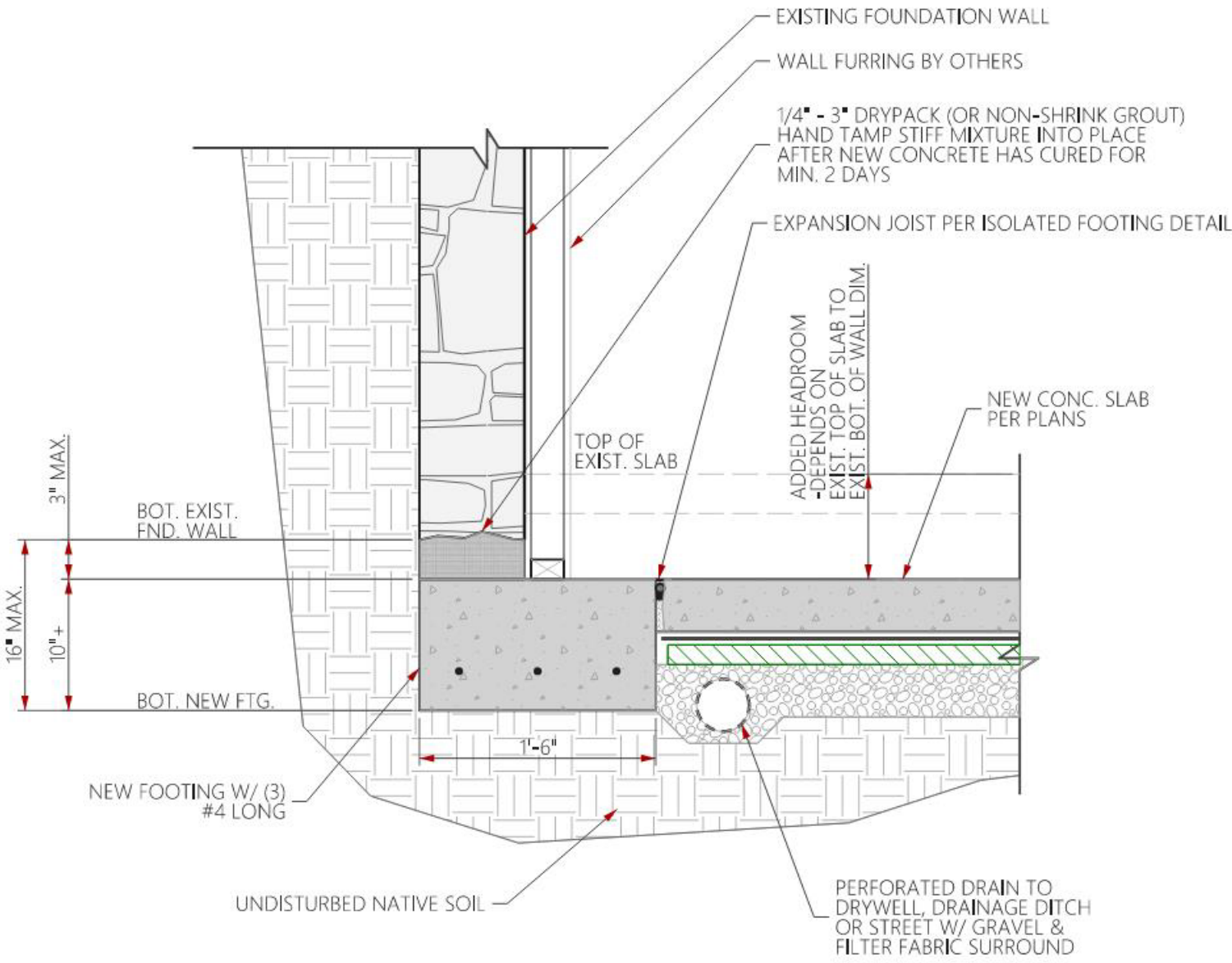


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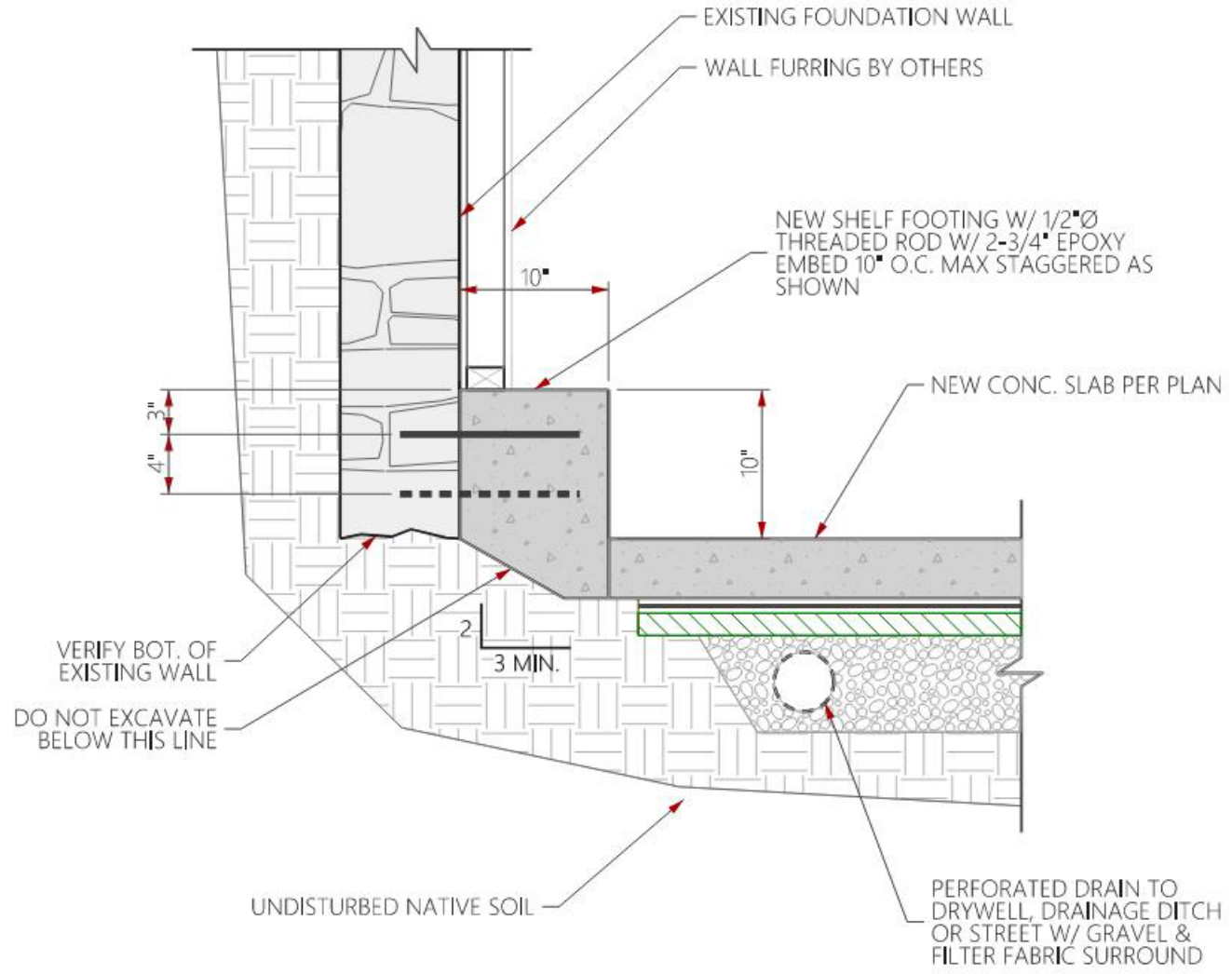
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FOUNDATION DETAILS
SCALE: AS NOTED
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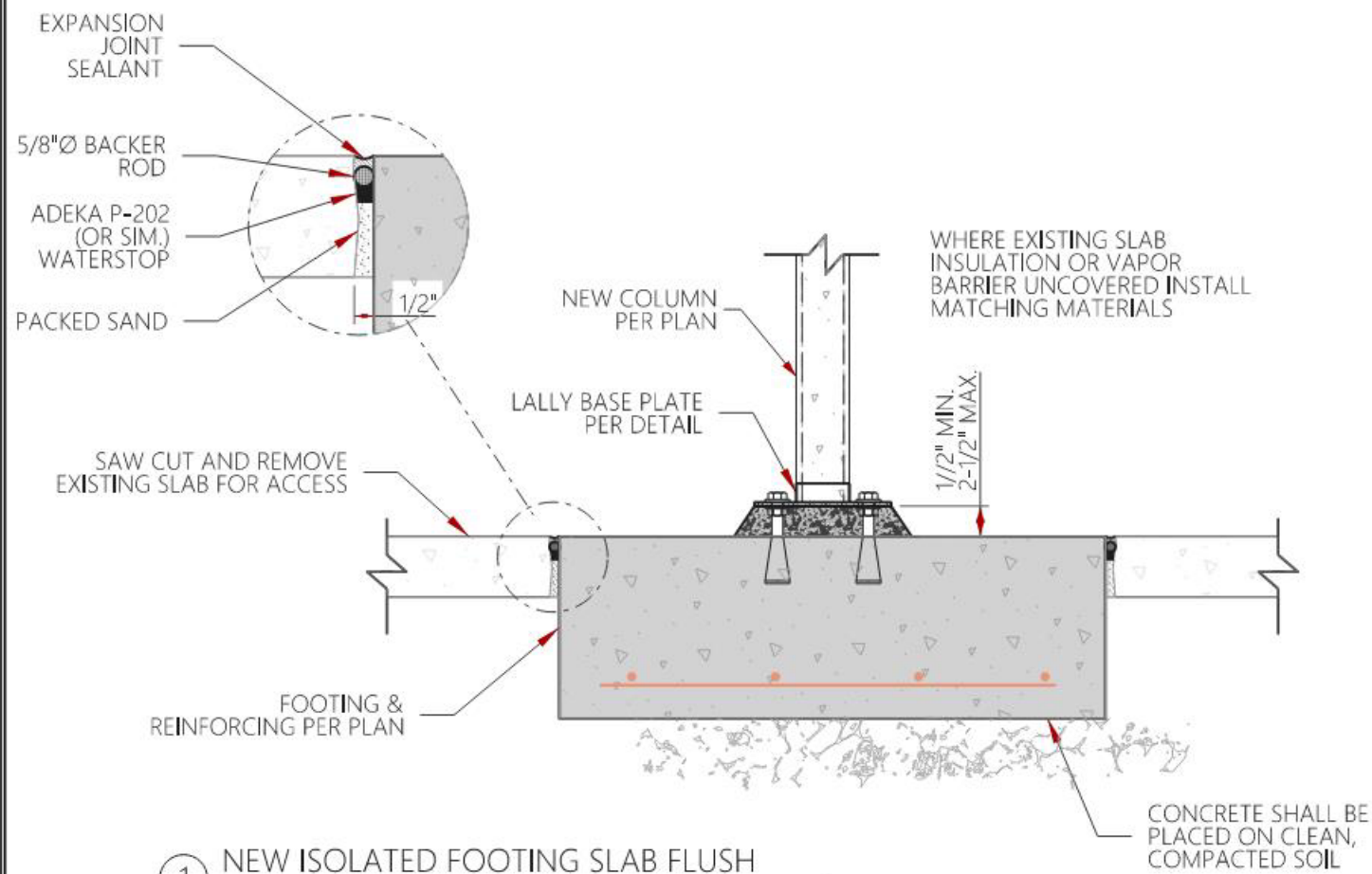
SHEET NO.
S3



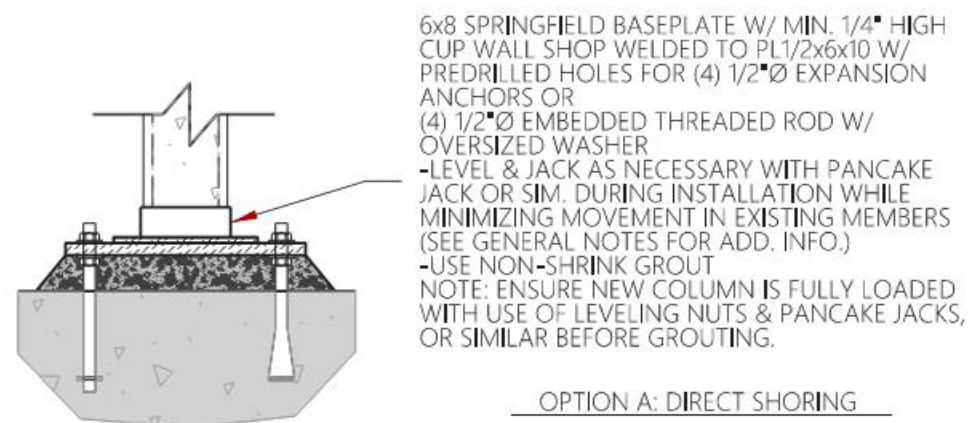
1 UNDERPINNING DETAIL
SCALE: 1" = 1'-0"



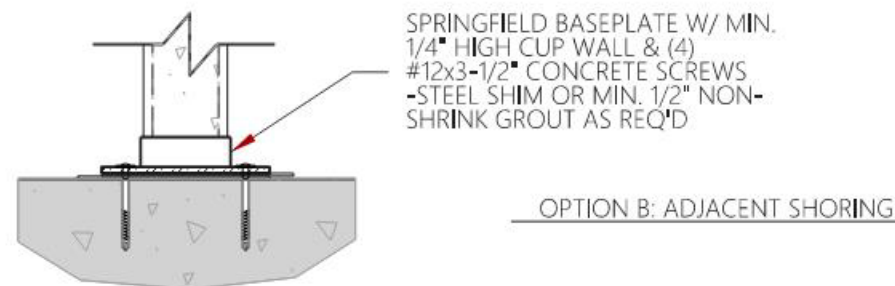
1 ALTERNATE FOUNDATION CURB DETAIL
SCALE: 1" = 1'-0"



① NEW ISOLATED FOOTING SLAB FLUSH
SCALE: 1" = 1'-0"

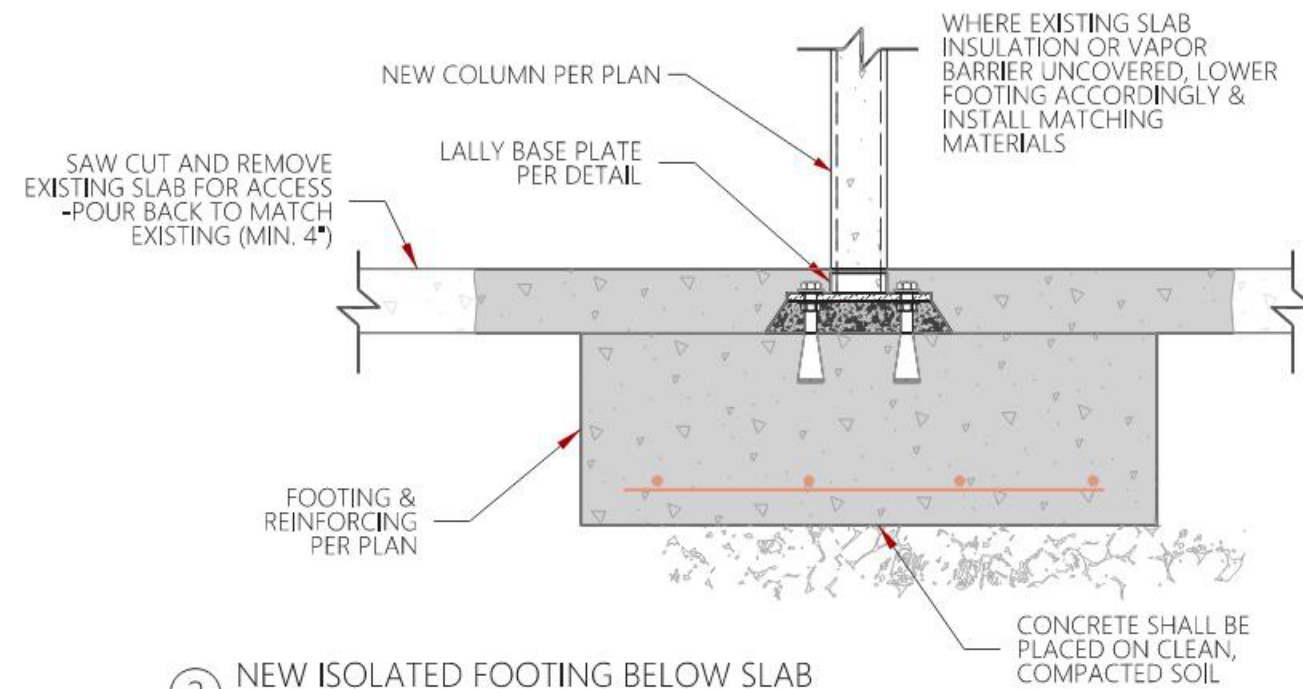


OPTION A: DIRECT SHORING

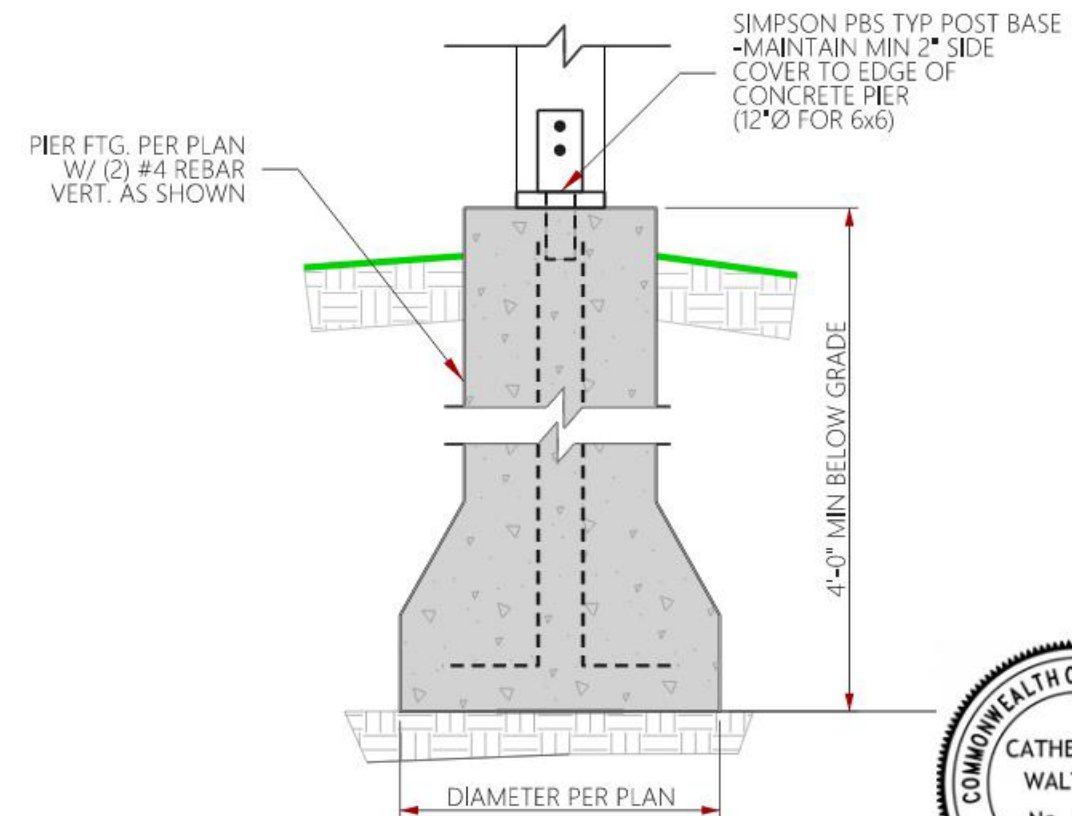


OPTION B: ADJACENT SHORING

③ LALLY BASEPLATE
SCALE: 1-1/2" = 1'-0"



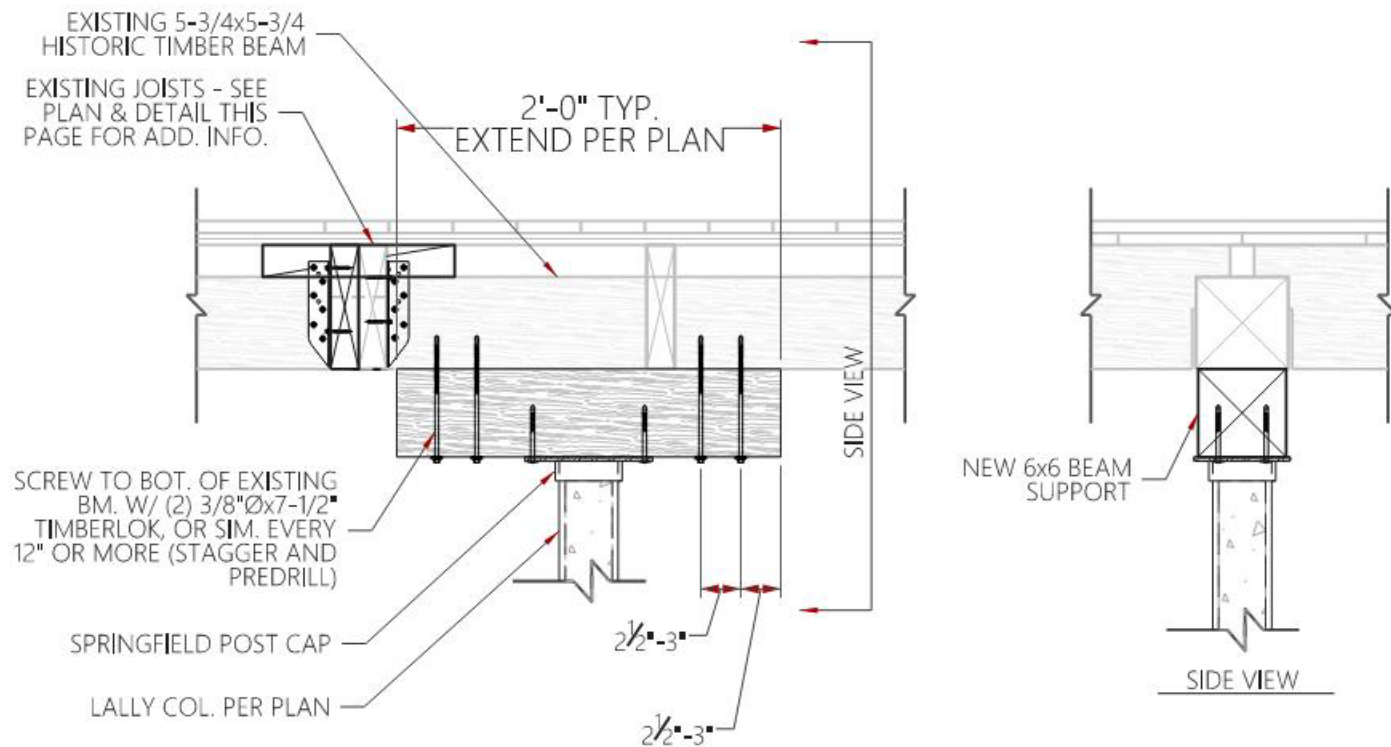
② NEW ISOLATED FOOTING BELOW SLAB
SCALE: 1" = 1'-0"



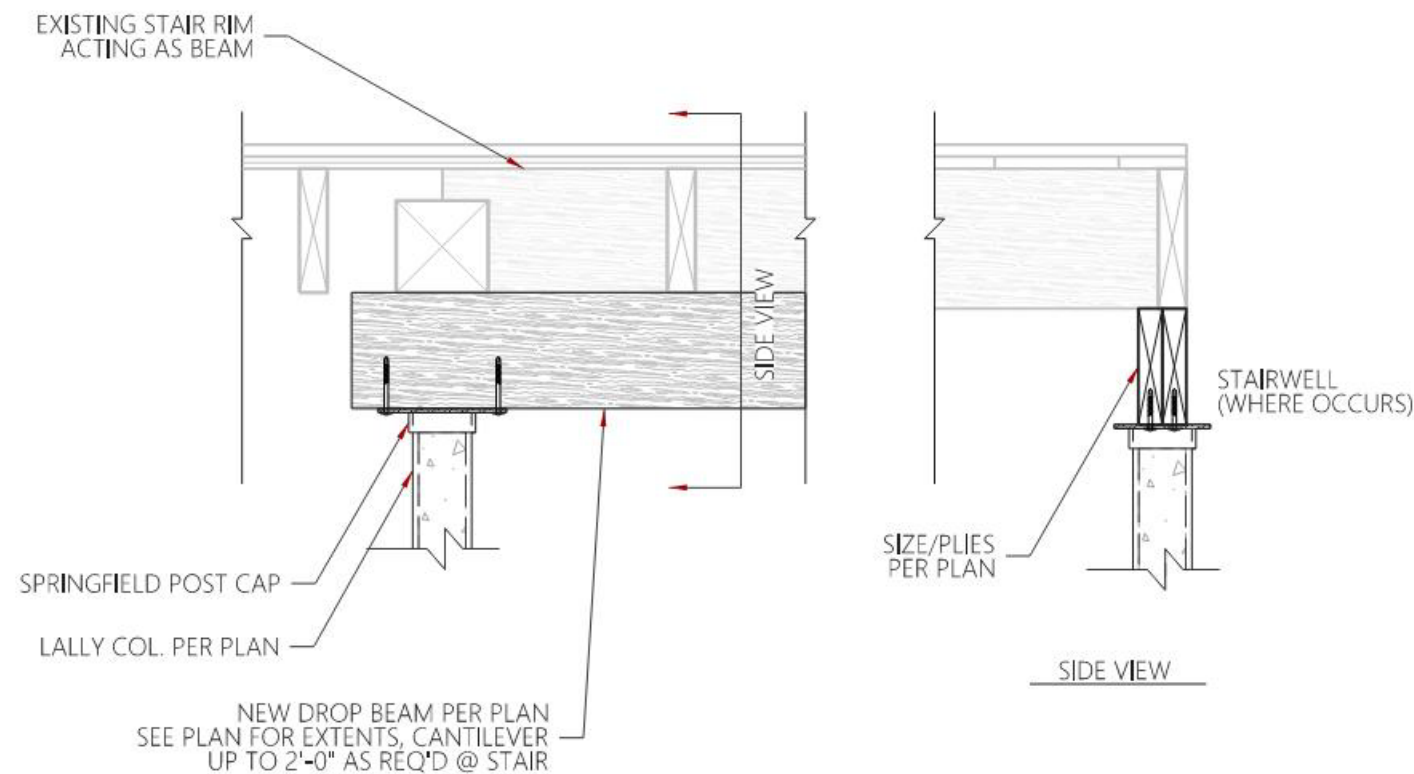
④ PIER FOOTING
SCALE: 1" = 1'-0"



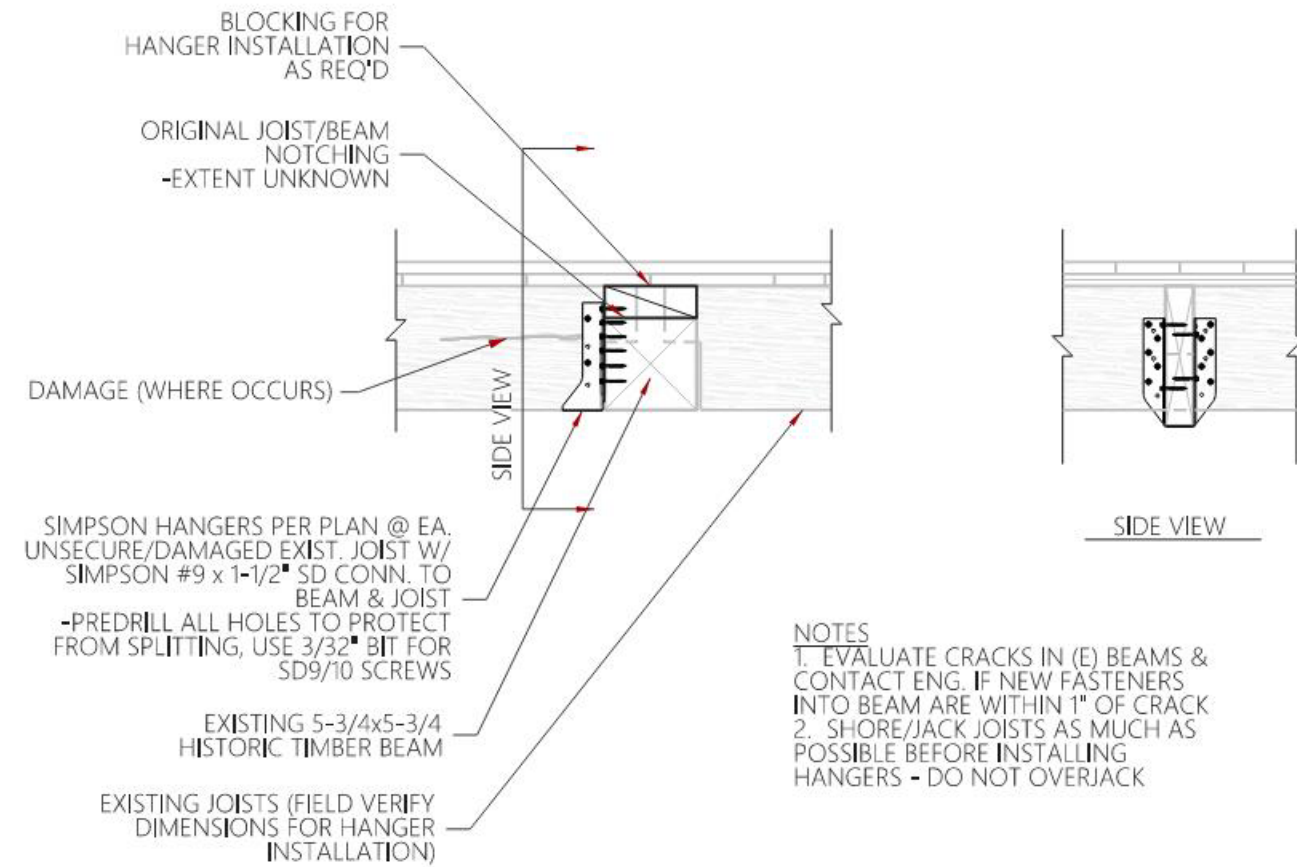
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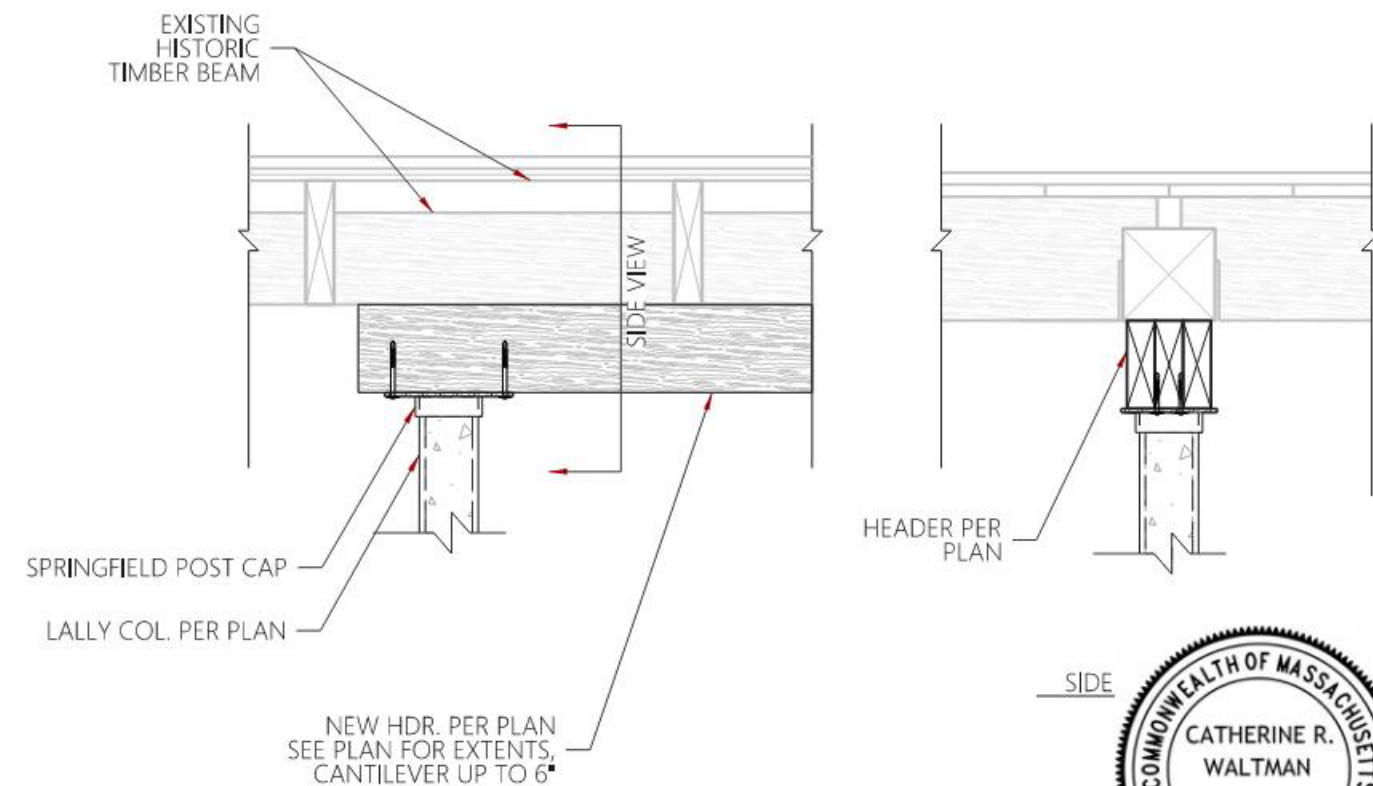
① LALLY COL. CAP W/ BEAM EXTENSION
SCALE: 1" = 1'-0"



③ DROP BEAM @ STAIR
SCALE: 1" = 1'-0"



② JOIST HANGER AT EXISTING JOISTS
SCALE: 1" = 1'-0"

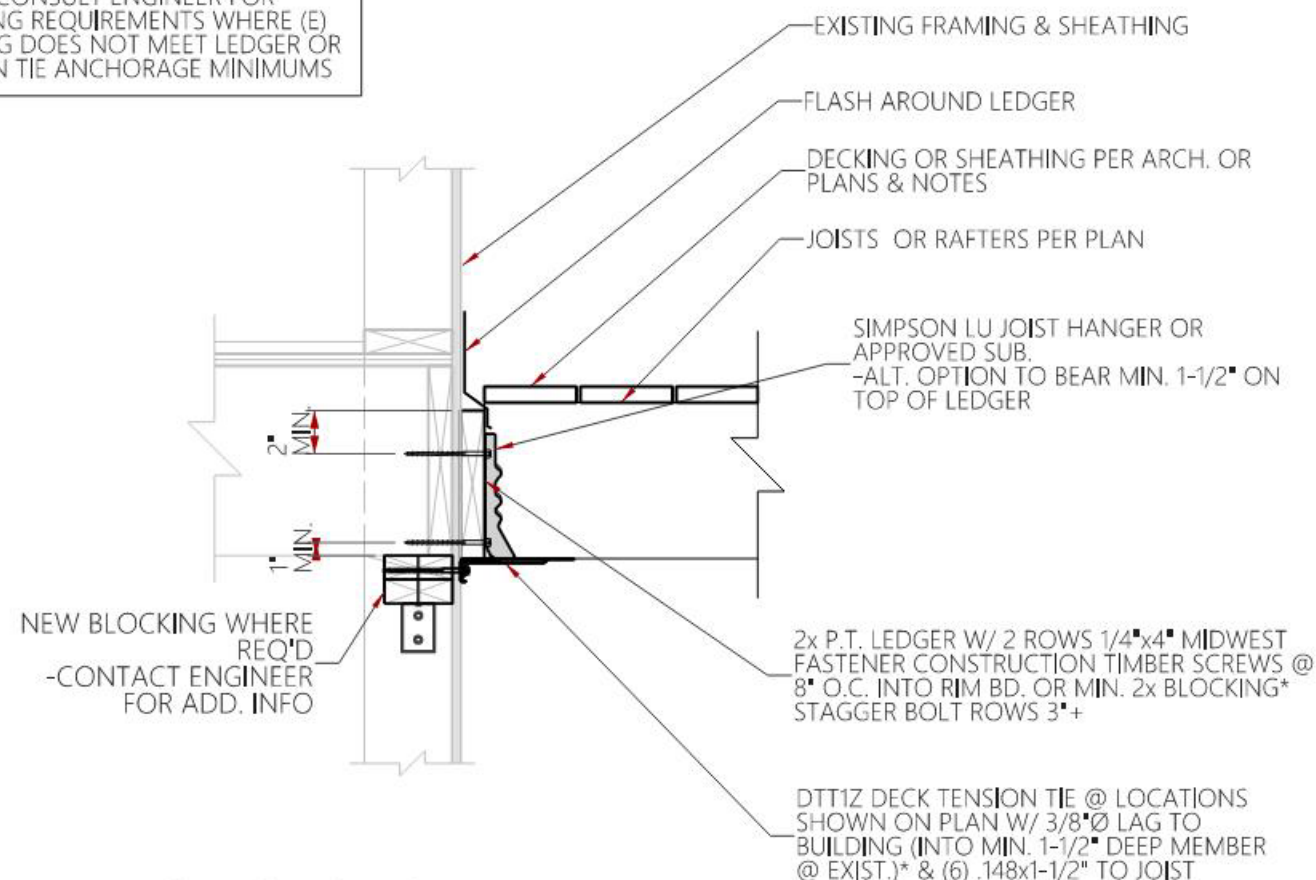


④ HEADER BEAM
SCALE: 1" = 1'-0"

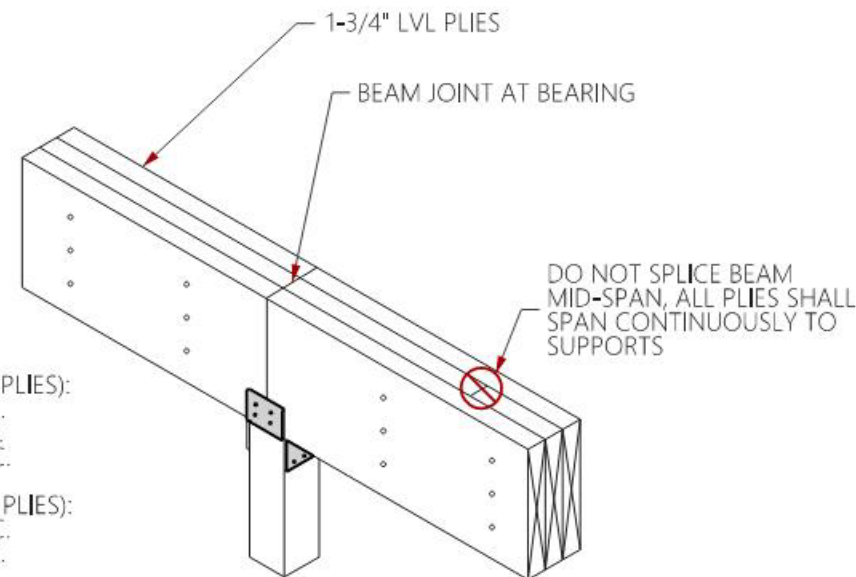


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*NOTE: CONSULT ENGINEER FOR
BLOCKING REQUIREMENTS WHERE (E)
FRAMING DOES NOT MEET LEDGER OR
TENSION TIE ANCHORAGE MINIMUMS



① LEDGER TO EXISTING
SCALE: 1" = 1'-0"

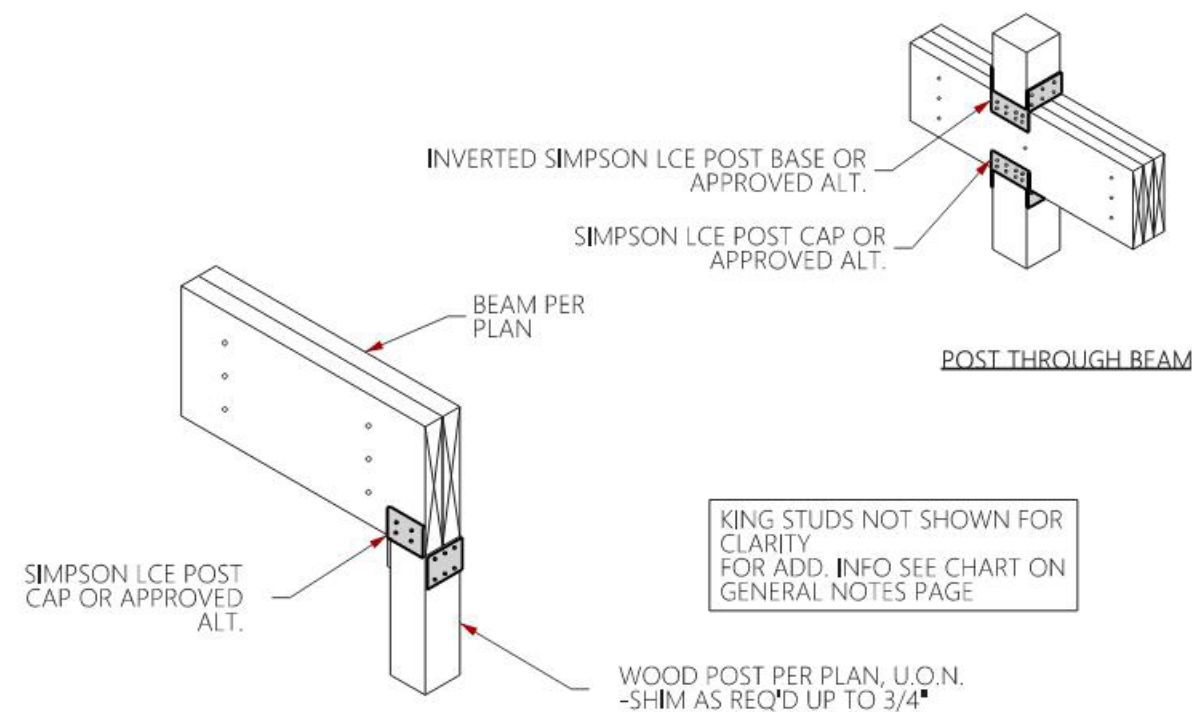


TOP LOAD (NAIL ONE SIDE 2 PLIES & BOTH SIDES 3 PLIES):
 $\leq 11-7/8"$ USE (2) ROWS 16d BOX/SINKER @ 12" O.C.
 $\leq 14" \geq 18"$ USE (3) ROWS 16d BOX/SINKER @ 12" O.C.
 $\geq 24"$ USE (4) ROWS 16d BOX/SINKER @ 12" O.C.

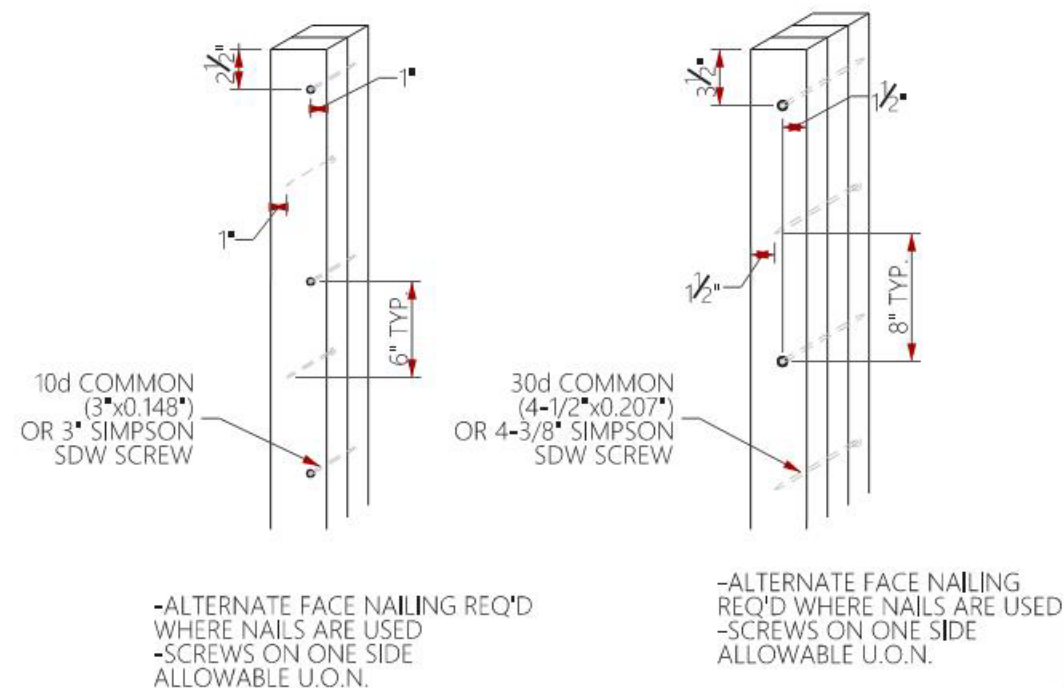
SIDE LOAD (NAIL ONE SIDE 2 PLIES & BOTH SIDES 3 PLIES):
 $\leq 9-1/2"$ USE (2) ROWS 16d BOX/SINKER @ 12" O.C.
 $\leq 11-7/8"$ USE (3) ROWS 16d BOX/SINKER @ 12" O.C.
 $\leq 14"$ USE (2) ROWS 1/2"Ø BOLTS @ 24" O.C.
 $\leq 18"$ USE (2) ROWS 1/2"Ø BOLTS @ 12" O.C.
 $\geq 18"$ USE (3) ROWS 1/2"Ø BOLTS @ 12" O.C.

NOTES:
 1. SEE MANUFACTURER'S INTERSECTION DETAIL FOR ADDITIONAL REQUIREMENTS AT POINT LOADS
 2. ALL PLYS SHALL SPAN TO SUPPORT POINTS - DO NOT SPLICE BEAMS MID-SPAN
 3. REFER TO GENERAL NOTES CHART FOR INFORMATION ON BUILT-UP DIMENSIONAL MEMBER FASTENING.

③ LVL BEAM
SCALE: ISO



② TYPICAL BEAM TO POST CONN.
SCALE: ISO



(2) 2x4

(3) 2x4

④ BUILT-UP 2x4 POST (2-PLY & 3-PLY)
SCALE: ISO



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SHEET NO.

S6